SHEET LIST

001 COVER SHEET

002 NOTES

003 BASIX

004 NatHERS

005 Nathers 006 SITE PLAN 007 DEMOLITION PLAN

008 DRIVEWAY DETAILS

009 GROUND FLOOR PLAN

010 GROUND FLOOR PLAN WITH MEASUREMENTS 011 FIRST FLOOR PLAN

012 FIRST FLOOR PLAN WITH MEASUREMENTS 013 SECONDARY DWELLING PLANS

014 ELEVATIONS 015 ELEVATIONS

016 SECTION 017 FLOOR COVERING PLAN

018 FLOOR SPACE RATIO PLAN

019 SHADOW DIAGRAMS, 21st JUNE 9am & 10am 020 SHADOW DIAGRAMS, 21st JUNE 11am & 12noon

021 SHADOW DIAGRAMS, 21st JUNE 1pm & 2pm

022 SHADOW DIAGRAMS, 21st JUNE 3pm

023 WINDOWS & DOORS SCHEDULES

024 SITE MANAGEMENT PLAN 025 SITE ANALYSIS

026 NOTIFICATION PLAN







YOUR HOME. OUR PASSION.

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

JOB NO:

24-1117

SITE ADDRESS:

LOT: 2

DP: 23623

(No. 59) LUCAS ROAD

EAST HILLS

NSW, 2213

PROPOSED:

NEW TWO STOREY DWELLING & DETACHED SECONDARY **DWELLING**

DESIGN NAME:

HEMISPHERE 48-MASTER REAR

FACADE NAME:

ARC

PACKAGE:

PRESTIGE

REVISION:

ARTISTIC IMPRESSION IS FOR ILLUSTRATION PURPOSES ONLY. COLOURS AND MATERIAL FINISHES
WILL BE SUBJECT TO BUILDERS FINAL TENDER.

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30.05.25 B-1 LODGEMENT PLANS ANUJA DATE REV DRAWN BY DESCRIPTION

GENERAL NOTES:

COORDINATION: REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS, AND THE DOCUMENTATION OF OTHER CONSULTANTS. NOTIFY ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND/OR OTHER CONSULTANTS DOCUMENTATION PRIOR TO PROCEEDING WITH THE WORKS.

SPECIFICATIONS AND SCHEDULES:

REFER TO AND COORDINATE WITH APPLICABLE SPECIFICATIONS AND SCHEDULES, NOTIFY ANY DISCREPANCIES BETWEEN DOCUMENTS PRIOR TO PROCEEDING WITH THE WORKS.

DETAIL DRAWINGS:

DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER DRAWINGS AT SMALLER SCALES. NOTIFY ANY
DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORKS.

EXECUTION OF THE WORKS:

EXECUTE THE WORKS IN ACCORDANCE AND COMPLIANCE WITH:

-THE APPROVED DEVELOPMENT APPLICATION AND IN ACCORDANCE WITH THE RELEVANT CONDITIONS OF CONSENT AND OTHER RELEVANT LOCAL AUTHORITY

-THE REQUIREMENTS SCHEDULES BY A CURRENT BASIX CERTIFICATE CONSISTENT WITH THE WORKS. -THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED); AND -CURRENT EDITIONS OF THE RELEVANT AUSTRALIAN AND OTHER APPLICABLE PUBLISHED STANDARDS RELEVANT TO

UNITS OF MEASUREMENT:

THE EXECUTION OF THE WORKS.

DIMENSIONS ARE SHOWN IN MILLIMETRES UNLESS NOTED OTHERWISE.

MATERIALS HANDLING AND STORAGE: MATERIAL FIXTURES AND FITTINGS ARE TO BE HANDLED. STORED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S CURRENT WRITTEN INSTRUCTIONS.

FOUNDATIONS, FOOTINGS, REINFORCED CONCRETE SLABS, RETAINING WALLS, FRAMING, BRACING, TIE-DOWN AND OTHER STRUCTURAL ELEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DETAILS AND SPECIFICATIONS.

HYDRAULICS:

STORMWATER DRAINAGE, WASTE WATER DRAINAGE, FRESH WATER GAS SUPPLY AND OTHER HYDRAULIC SERVICES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AUTHORITY AND HYDRAULIC ENGINEER'S REQUIREMENTS.

SLAB REBATES:

ALL SLAB REBATES TO BE 160mm UNLESS OTHERWISE NOTED

GARAGE REBATES ARE 280mm WIDE X 15mm RECESS. ALL DIMENSIONS ARE TAKEN FROM EXTERNAL EDGE OF BRICK WALL.

WET AREAS:

FIXTURES SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. ALL SIZES DEPICTED MAY VARY DEPENDING ON AVAILABILITY AND PRODUCT SELECTION. HEIGHT OF TILES MAY VARY ACCORDING TO SELECTION OF TILES. F.W. LOCATION IS DIAGRAMATIC ONLY AND POSITION MAY VARY. ALL FIXTURES SHOWN ARE BASED ON STANDARD INCLUSIONS MEASUREMENTS MAY VARY AS PER THE AVAILABILITY AND PRODUCT SELECTION.

MEASUREMENTS:

ALL MEASUREMENTS ARE TAKEN FRAME TO FRAME AND TO FINISH FLOOR LEVEL. NO CONSIDERATION OF FLOOR FINISH HAVE BEEN TAKEN, WHERE NEEDED. MEASUREMENTS MAY NEED TO BE ACCOUNTED FOR FINISH ONTOP OF CURRENT DIMENSION.

CONSULTANTS:

ALL RELEVANT CONSULTANT DRAWINGS TO BE REFERED BACK TO ORIGINAL DRAWINGS PROVIDED.

DOOR JAMBS: MINIMUM 105mm BETWEEN DOOR JAMB AND WALL, WHERE MINIMUM DIMENSION CANNOT BE ACHIEVED, DOOR TO BE CENTERED BETWEEN WALLS.

STAIRS:
BALUSTRADES AND HANDRAILS, NEWEL POST, TREADS AND RISERS TO STAIR MANUFACTURER'S SPECIFICATIONS.

ROOF PLANS:

TRADESMAN TO ENSURE THE CORRECT INSTALLATION OF ROOF FLASHING TO JUNCTION OF BRICKWORK AND

REFER TO ENGINEER'S DETAILS FOR DROP EDGE BEAMS IF APPLICABLE.

BALUSTRADES

ALL BALUSTRADES TO BE 1.1m FROM THE FINISHED FLOOR LEVEL

BEARINGS AND DISTANCES ARE BY TITLE AND/OR DEED

THIS DETAIL SURVEY IS NOT A "SURVEY" AS DEFINED BY THE SURVEYORS ACT 1929. IF ANY CONSTRUCTION IS PLANNED IT WOULD BE ADVISABLE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN, THEY DO NOT REPRESENT THE EXCAT LEVEL AT ANY PARTICULAR POINT.

SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY, PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH.

AUSTRALIAN HEIGHT DATUM WAS ESTABLISH FROM SSM 168755 RL 69.056.

TREE LOCATIONS ARE ACCURATE TO +/- 0.30m.

THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:200M.

SITE SPECIFIC HAZARDS: OVERHEAD POWERLINES NO STREET PARKING

LIMITED SPACE FOR MATERIAL STOCK PILE EXISTING POOL CLOSE TO SCHOOL FOOTPATH / PEDESTRIAN TRAFFIC TRAFFIC CONTROL REQUIRED EXISTING TREES / OVERHEAD CONSTRUCTION DROP FDGE BEAM

ELECTRICAL TURRET / INSTALLATION SITE INDUCTION:

BEFORE ENTERING SITE PLEASE REVIEW. AND MAKE YOURSELF FAMILIAR WITH EMERGENCY CONTACTS. SITE SPECIFIC HAZARDS AND THE SITE SPECIFIC INDUCTION INFORMATION THAT IS LOCATED ON THE SITE INDUCTION SIGN. IF YOU HAVE ANY TROUBLE UNDERSTANDING THIS INSTRUCTION, CONTACT THE SITE SUPERVISOR OR EMERGENCY CONTACT NUMBER LOCATED ON THE SIGN

YOUR HOME. OUR PASSION.

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE:

PRESTIGE

FACADE NAME: NOTES ARC SCALE: @ A3 JOB NO: DATE: SHEET NO: 24-1117 30.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS: LOT: 2 DP: 23623 (No. 59) LUCAS ROAD **EAST HILLS** NSW, 2213

REVISION:

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| Certificate Prepared by | |
|-------------------------|--|
| | |

ABN (if app

| ii) Energy | | | | | | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|--|---|---|---|--------------------------------------|---------------------|------------------------------|--------------------|
| the tab | | extent specified for that | elling which is referred to i room or area). The applica | | | ~ | ~ | × |
| g) This oc | mmitment applies if the | applicant installs a water | heating system for the dw | velling's pool or spa. T | he applicant must: | | | |
| (aa | install the system spec any system for the po | offed for the pool in the "l | ndividual Pool" column of t | the table below (or alte control the pool's pure | matively must not install up; and | | V | |
| (bb | | | idividual Spa" column of the | | | | V | |
| h) The ap | plicant must install in th | e dwelling: | | | | | | |
| (22 | the kitchen cook-top a table below; | nd oven specified for tha | dwelling in the "Appliance | s & other efficiency me | asures" column of the | | ~ | |
| (bb | | ich a rating is specified for that the appliance has the | r that dwelling in the "Appl at minimum rating; and | liances & other efficien | cy measures" column of | | V | - |
| (cc | any clothes drying line | specified for the dwelling | in the "Appliances & othe | r efficiency measures" | column of the table. | | - | |
| (i) If specification (ii) (ii) (iii) | | licant must carry out the | development so that each | refrigerator space in th | e dwelling is "well | | ~ | |
| | | | ied for the dwelling under t nect the system to that dw | | | V | ~ | ~ |
| | Hot water | n.it. | entilation system | Vistorio | entilation system | | aundry ventilation sy | |
| | | - | | | | | | |
| Dwelling | Hot water system | Each bathroom | Operation control | Each kitchen | Operation control | Each laur | idry Operati | on control |

| All gas dwellings star | | ividual fan, ducted laçade or roof | manual switch on/off | individual fan, ducted to façade or roof | | | rentilation - no laundry | |
|---------------------------|----------------------|---------------------------------------|----------------------|---|-------------------------|------|--------------------------------|------------|
| | | Cooling | | н | eating | | Natura | l lighting |
| Dwelling no. | living areas | bedroon | n areas I | iving areas | bedroom areas | | No. of bathrooms or toilets | - |
| 1 | 3-phase aircondition | ning / 3-phase a | | phase airconditioning / | 3-phase airconditioning | g/ - | F | no |

| | | | | | OF CORRES | |
|-------|---|---------------------------------------|--|--|---------------------|-------------|
| 1 | 3-phase airconditioning / EER 3.0 - 3.5 | 3-phase aircondition EER 3.0 - 3.5 | ing / 3-phase airconditioning / EER 3.0 - 3.5 | 3-phase airconditioning / EER 3.0 - 3.5 | 4 | no |
| | | | | | | |
| BASIX | Department of Planning, Housing and Infrastructure | www.bastcnsw.gov.au | Version: 4.03 / EUCALYPTUS_03_01_0 | Certificate No.: 1789879M_03 | Tuesday, 27 May 202 | 5 page 6/19 |
| | | | | | | |
| _ | | | | | | |

| | Fla | t ceiling / pitched re | of | Raked ce | iling / pitched or | skillion roof | 2 | | Flat ceiling / fla | it roof |
|--------------------------|--|-------------------------|--|-----------------------|--------------------|---------------|------------|-------------------|----------------------|--------------------------|
| Dwelling no. | Construction type | Area (m²) | Insulation | Construction type | Area (m²) | Insulation | | Construction type | Area (m²) | Insulation |
| All other dwellings | framed - concrete tiles, frame: timber - H2 treated softwood | | Deiling fibreglass natts or oll,Roof: foil/ narking | - | - | Ceiling:,Ro | of: | - | - | Ceiling:,Root |
| | | Glazing typ | • | | | | F | rame types | | |
| Dwelling no. | Single glazin (m²) | g Double glazii (m²) | riple gla | zing Alumin frames | | ber frames | uP\ (m² | /C frames | Steel frames (m²) | Composite frames (m*) |
| 1 | 15.8 | 50.7 | - | 72.5 | - | | - | | | - |
| All other dwellings | 16.9 | - | - | 16.9 | | | - | | | |
| 1 All other dwellings | | 50.7 | Ī | | | | - | | | - |

| Project summary | | |
|---|------------------------|-------------|
| Project name | LOKA 24-1117_03 | |
| Street address | 59 LUCAS ROAD EAST HIL | LS 2213 |
| Local Government Area | CANTERBURY-BANKSTOW | IN . |
| Plan type and plan number | Deposited Plan 23823 | |
| Lot No. | 2 | |
| Section no. | - 7 | |
| No. of residential flat buildings | 0 | |
| Residential flat buildings: no. of dwellings | 0 | |
| Multi-dwelling housing: no. of dwellings | 2 | |
| No. of single dwelling houses | 0 | |
| Project score | | |
| Water | √ 41 | Target 40 |
| Thermal Performance | ✓ Pass | Target Pass |
| Energy | √ 75 | Target 72 |
| Materials | ✓ -94 | Target n/a |

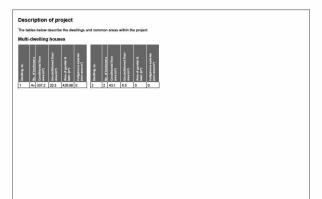
| icate Prepared by | |
|---|--|
| Company Name: FRYS BUILDING CONSULTANCY PTY LTD | |
| applicable): | |

| Street address 5 Local Government Area C | OKA 24-1117_03 9 LUCAS ROAD EAST HILLS 2213 2ANTERBURY-BANKSTOWN Peposited Plan 23023 | Common area lawn (m*) Common area garden (m*) Area of indigenous or low water use species (m*) Assessor details and then Assessor number | 0 0 0 mal loads | |
|---|---|--|--------------------------|-------------|
| Local Government Area C Plan type and plan number D Lot No. 2 Section no Project type | CANTERBURY-BANKSTOWN Deposited Plan 23623 | Area of indigenous or low water use species (m*) Assessor details and then | 0 | |
| Plan type and plan number D Lot No. 2 Section no. Project type | Deposited Plan 23623 | Assessor details and then | | |
| Let No. 2 Section no Project type | | Assessor details and then | nal loads | |
| Section no Project type | | | | |
| Project type | | | Indiana State Comments | |
| | | | DMN/24/2222 | |
| No. of No. of Co. of Co. of Co. | | Certificate number | #HR-F4XQTR-02 | |
| | 1 | Climate zone | 56 | |
| Residential flat buildings: no. of dwellings | | Project score | | |
| Multi-dwelling housing: no. of 2 dwellings | ! | Water | √ 41 | Target 40 |
| No. of single dwelling houses 0 | ı | Thermal Performance | ✓ Pass | Target Pass |
| Site details | | | | - 200 |
| Site area (m*) | 91.8 | Energy | √ 75 | Target 72 |
| | 18.5 | Materials | | |
| Non-residential floor area (m²) 0 | | Materials | ✓ -94 | Target n/a |
| Residential car spaces 2 | | 1 * | | |
| Non-residential car spaces 0 | | | | |

| Dwelling no. | living area | ıs | bedroom are | la.e | | | | | | | |
|---------------------|------------------------------|-----------------|---------------------------------|-----------------------|--------------------|-----------------------|--------------------------------|---------------------------------------|------------------|--|---|
| All ather describes | | | | | living. | areas | E | sedroom areas | | of bathrooms oilets | Main kitche |
| All Other Owning | s 3-phase ain EER 3.0 - 3 | conditioning / | 3-phase aircor EER 3.0 - 3.5 | nditioning / | 3-phase EER 3.0 | e aircond .0 - 3.5 | itioning / 3- | phase airconditioning ER 3.0 - 3.5 | <i>(</i> 0 | | - |
| | | Individual pool | | Indi | ividual spa | a | | Appliances | other efficien | cy measures | |
| | ol heating stem | Pool Pump | Timer | Spa heating system | g . | Timer | Kitchen cooktop/over | Dishwasher 1 | Clothes dryer | Indoor or sheltered clothes drying line | Private outdoor or unsheltere clothes drying line |
| All - dwellings | | - | 1 - 1. | - | | | gas cooktop & electric oven | | - | no | yes |

| | | Alternative energy | | | |
|---|--|--|---------------------|---------------------------------|-------------------|
| Dwelling no. | Photovoltaic system (min rated electrical output in peak kW) | Photovoltaic collector installation | Orientatio | en inputs | |
| ri. | between >0" to <=10" degree to the horizontal | 1 | N | | |
| All other dwellings | - | | - 2 | | |
| (iii) Thermal Performance | and Materials | | Show on DA plans | Show on CC/CDC plans & specs | Certifie check |
| | | | | | |
| "Assessor Certificate") the applicant is applying | to the certificate referred to under "Assessor details" on the to the development application and construction certificate g for a complying development certificate for the proposed ssessor Certificate to the application for a final occupation of the complete of the | application for the proposed development (or, if development to that application). The applicant | | | |
| "Assessor Certificate") the applicant is applyin must also attach the Ar | to the development application and construction certificate o for a complying development certificate for the proposed | application for the proposed development (or, if development, to that application). The applicant certificate for the proposed development. | | | |
| "Assessor Certificate") the applicant is applyin must also attach the As (b) The Assessor Certificat (c) The details of the propo | to the development application and construction certificate g for a complying development certificate for the proposed ssessor Certificate to the application for a final occupation of | application for the proposed development (or, if development, to that application). The applicant certificate for the proposed development. cordance with the Thermal Comfort Protocol. | | | |

| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifi |
|---|---------------------|------------------------------|---------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling, (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table; | ~ | V | |
| (c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it. | | V | V |
| (d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below. | | V | ¥ |
| (e) The applicant must install: | | | |
| (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and | | V | |
| (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. | | ~ | ~ |
| (e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below. | V | V | |
| (f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both). | | ~ | |
| (g) The pool or spa must be located as specified in the table. | V | ~ | |
| (h) The applicant must instal, for the dwelling, each alternative water supply system, with the specified size, issued for that dwelling in the table below. Each system must be configured to collect nut-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to diverd overflow as specified. Each system must be connected as specified. | ~ | V | ~ |
| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifi |
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system. | ~ | ~ | ~ |
| (c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table. | | J | ن |



| certificate if and | | | | | Show on DA plans | Show on CC/CDC plans & specs | Certit |
|---|--|--|---|--|-------------------------------|---|---------------------|
| development wh | ust show on the plans accompa plicable), all thermal performance sich were used to calculate those | rying the application for a construct especifications set out in the Assess especifications. | ion certificate (or complying devi sor Certificate, and all aspects of | elopment of the proposed | | ~ | |
| Certificate, and i | ast construct the development in in accordance with those aspect were used to calculate those so | accordance with all thermal perform s of the development application or ecifications. | nance specifications set out in the application for a complying down | he Assessor elopment | | ~ | ٠ |
| | in in-slab heating or cooling syst | | | | ~ | V | |
| (bb) On a su | | ess than 1.0 around the vertical edg with an R-value of not less than 1.0 | | T | | | |
| 77.7 | ust construct the floors and wall | of the development in accordance | with the specifications listed in | the table below. | V | - | ١, |
| | | | | | | | |
| (i) The applicant mu | ist show on The plans accompa out in The Assessor Certificate. | rying The development application | for The proposed development, | The locations of | v | | |
| (i) The applicant mu ceiling fans set of (i) The applicant mu | out in The Assessor Certificate. ist show on the plans accompan | ving the application for a construction | on certificate (or complying deve | | V | | F |
| (i) The applicant mu ceiling fans set of (i) The applicant mu | out in The Assessor Certificate. ist show on the plans accompan | 0.000 | on certificate (or complying deve | elopment | ~ | y | |
| (i) The applicant mu ceiling fans set of (i) The applicant mu | out in The Assessor Certificate, ist show on the plans accompan bloable), the locations of ceiling | ving the application for a construction | on certificate (or complying deve ate. | elopment | | sted total load (in M.V | m¹/yr) |
| The applicant much person of the applica | out in The Assessor Certificate, as show on the plans accompan- plicable), the locations of ceiling. Area adjuste. 10.7 | ying the application for a construction for a const | on certificate (or complying deverate. Thermal load Area adjusted cooling load (| elopment | Area adju 29.800 | sied total load (in M./ | m¹/yτ) |
| (i) The applicant mu ceiling fans set of (j) The applicant mu certificate, if app | out in The Assessor Certificate, ist show on the plans accompan bloable), the locations of ceiling Area adjuste | ying the application for a construction for a const | on certificate (or complying deve atc. Thermal load Area adjusted cooling toad (| elopment | Area adju | sted total load (in M.M | m'5r) |
| The applicant much person of the applica | out in The Assessor Certificate, as show on the plans accompan- plicable), the locations of ceiling. Area adjuste. 10.7 | ying the application for a construction for a const | on certificate (or complying deverate. Thermal load Area adjusted cooling load (| Sopment Is Iin MJ/m³/yr) | Area adju 29.800 | ated total load (in MJ) | m ¹ /yr) |
| The applicant much person of the applica | out in The Assessor Certificate, as show on the plans accompan- plicable), the locations of ceiling. Area adjuste. 10.7 | ying the application for a construction for a const | on certificate (or complying develope. Thermal load Area adjusted cooling load (13.1 17.0 Construction of floors and w | Sopment Is Iin MJ/m³/yr) | Area adju 29.800 28.800 | sted total load (in M.M. Primarily ramen mudbrick walls | ned eart |
| (i) The applicant muceiling fans set of its applicant mucertificate, if applicant muceiling no. 1 All other dwellings | out in The Assessor Certificate, at show on the plans accompanicable), the locations of ceiling. Area adjuste. 10.7. 11.2. Concrete stats on ground. | ying the application for a construction area set out in the Assessor Certific the Assess | on certificate (or complying deveate. Thermal load Area adjusted cooling load (13.1 17.8 Construction of floors and w Suspended floor with | siopment is in MJ/m³/yr) ralls Suspended i | Area adju 29.800 28.800 | Primarily rame | ned earl |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|---------------------|---------------------------------|--------------------|
| (d) The applicant must install the cooling and heating system's specified for the dwelling under the "Living areas" and "Bedroom areas" heatings of the "Cooling" and "Heating" columns in the table below, infar at least. It invegledness areas of the dwelling areas" and "Bedroom areas of the dwelling areas" in the system is specified in the table for "Living areas" or "Bedroom areas", the non systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for dayinght zoning between living areas and bedrooms. | | ~ | × |
| (e) This commitment applies to each room or area of the deeling which is referred to in a heading to the "Artificial lighting column of the table below four only to the extended properties from the control or area.) The applicant must ensure that the for primary type of artificial sighting for each such room in the deeling is blowcomed lighting or light entiting doubt (LED) lighting. If the term identicated it is required to the control of the control | | * | ~ |
| (f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight. | ~ | ~ | ~ |
| (g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: | | | |
| (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and | | V | |
| (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump. | | ~ | |
| (h) The applicant must install in the dwelling: | | | |
| (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; | | V | |
| (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and | | ~ | ~ |
| (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table. | | ₩ | |
| ii) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated". | | ~ | |
| (j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system. | ~ | V | ¥ |
| (iii) Thermal Performance and Materials | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| (a) The applicant must attach the certificate referred to under "Assessor details" on the frost page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate applicant for the proposed development, or the applicant is applicant for a complying development certificate for the proposed development, to that applicant on the applicant is applicant in the Assessor Certificate in the association for a finite consistence of extending the applicant in t | | | |

| . Commitments for multi-dwelling housing) Dwellings | | | |
|--|---------------------|------------------------------|--------------------|
| i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as prizate landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table). | ~ | ~ | |
| (c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it. | | ~ | ~ |
| (d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below. | | ~ | ~ |
| e) The applicant must install: | | | |
| (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and | | V | - J |
| (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all tollets in the dwelling. | | ~ | ~ |
| (e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below. | ~ | ~ | |
| (f) if specified in the table, that pool or spa (or both) must have a pool cover or shading (or both). | | √ | |
| (g) The pool or spa must be located as specified in the table. | V | V | |
| (h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified, Each system must be connected as specified. | ~ | ~ | ~ |

| | Floor types | | | | | | | | | | |
|------------------------|--|---------------|-----------------------------|--|-------------|-----------------------------|---|-------------|--|----------------------------|-----------------------------|
| | _ | Conce | ete slab on gro | ound | | Suspended fl | oor above enclos | ed subfloor | Suspende | d floor above | open subfloor |
| Dwelling no. | Area (m²) | Insulation | Low emission option | S Demateria | ilisation | Construction type | Area (m²) | nsulation | Construction type | Area (m²) | Insulation |
| 1 | 177.2 | | 1 | waffle pod | slab | 3 | -8 | 3 | particle board, frame: timber - H2 treated softwood | 2 | fibreglass batts or roll |
| All other dwellings | 49.6 | .57 | | waffle pod | slab | - | | | S0 | - | - |
| _ | Floor types | | | | | | | | | | |
| | | oor above hal | | Suspend | ed floor al | ove garage | | | Garage floo | , | |
| Dwelling no. | Construction type | Area (m*) | Insulation | Construction type | Area (m | ') Insulation | Construction type | Area (m²) | Insulation | Low emissions option | Dematerialisatio |
| 1: | particle board, frame: timber - H2 treated softwood | 142.1 | fibreglass batts or roll | particle board, frame: timber - H2 treated softwood | 38.1 | fibreglass batts or roll | concrete slab on ground | 43.5 | | - | waffle pod slab |
| All other dwellings | | - | | | - | - | 5 | 0 | - | 9 | conventional slab |
| | External | walls | | | /// | | | | | | |
| | | | Externa | wall type 1 | | | | | External wall typ | re 2 | |
| Dwelling no. | Wall type | | rea (m") | Insulation | | w emissions tion | Wall type | Area (m* | Insul | ation | Low emissions option |
| 1 | brick vene frame : tin - H2 treats softwood | nber ed | 1.8 | fibreglass bat | | ne . | framed (fibre cement sheet or boards), frame : timber - H2 treated softwood | 37.3 | fibregi | ass batts or | none |
| All other dwelli | nas brick vene | er. 73 | | fibreglass bat | te or | | | | | | |

| (iii) Thermal Performance and Materials | Show on DA plans | Show on CC/CDC plans & specs | Certif |
|---|---------------------|---------------------------------|--------|
| (b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. | | | |
| (c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below. | | | |
| (d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Confront Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to sertify that this is the case. | ~ | | |
| (e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to activate those specifications. | | ~ | |
| (f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. | | ~ | ~ |
| (g) Where there is an in-slab heating or cooling system, the applicant must: | ~ | ~ | V |
| (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or | | | 1 |
| (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab. | | | |
| (h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below. | v | ~ | v |
| (i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate. | v | | |
| (j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate. | | ✓ | |

| | | | Fixture | 15 | | Appl | liances | | Indiv | idual po | ю | | | Individual | spa |
|------------------------------|------------------------------------|--------------------------------------|---------------------------------------|---|---|--|------------------------------------|---------------------------|--------------------------|------------------------|---------------------------|--------------|--------------------------|--------------------------|--------------------|
| Dwelling no. | All showe heads | All toilet flushing systems | All kitchen taps | All bathroom taps | HW recirculation or diversion | All clothes washers | All dish- washers | Volume (max volume) | Pool cover | Pool locati | | ool raded | Volume (max volume | cover | Spa shaded |
| | 3 star (7.5 but 9 L/min | CE | 4 star | 4 star | • | 5 | 100 | ē | ٠ | - | · | | | 155 | - |
| | | | | | | | Alternati | ive water so | rce | | | | | | |
| Dwelling | | Iternative wat upply system | | Size | Configur | ation | | | Landso | tion | Toilet connecti (s) | on L | sundry onnection | Pool top- up | Spa top-up |
| | In 1) | dividual water t | ank (No. | Tank size (min) 3000 liters | | To collect run-off from at least: 207.2 square metres of roof area; | | | yes | , | es | yes | | no | no |
| All other dwellings | | o alternative wa pply | iter | - | - | | | | - | - | | - | | -1 | - |
| (ii) Energ | y . | | | | | | | | | | | Show o | n Shor | w on CC/CDC s & specs | Certifier check |
| | | | | | ed below in can | | | | | | | | - | | |
| SUPPR | ed by th | at system. If the | table spe | offes a centr | cified for the de al hot water sys hot water is sup | tem for the o | twelling, then | the applicant | welling's ho must con | ot water nect that | is | ~ | | ~ | ~ |
| | | | | | and laundry of nave the operat | | | | affed for t | hat roor | in. | | | ¥ | ¥ |
| headir coolin such a | ngs of the g or hea reas. If | e "Cooling" and ing system is s | "Heating" pecified in is specif | columns in t | stem's specifier he table below, "Living areas" n air conditionin | in/for at leas | st 1 living/bedr areas", then r | oom area of | the dwellin | ng. If no called in | anv | | | ~ | ~ |
| the tal lightin specif | ole below g' for ea ed for a | (but only to the | e extent s the dwel or area, t | pecified for th ling is fluores hen the light | dwelling which lat room or area cent lighting or fittings in that ro |). The application | cant must ensi | ure that the 'i | primary typ | e of art | ficial is | | | ~ | ~ |

| | External walls | | | | | | | | | | |
|---------------------|--|--------------------|---|--|--------------|----------|-------------------------|------|--|--------------------|---------------------|
| | | Ext | ernal wall type 1 | | | ı | | | External w | all type 2 | |
| Dwelling no. | Wall type | Area (m²) | Insulation | Low em | ssions | Wall 1 | уре | Area | (m²) | Insulation | Low emission option |
| | - H2 treated softwood | | | | | | | | | | Local |
| | External walls | | | | | | | | | | |
| | | Ext | ernal wall type 3 | | | | | | External w | all type 4 | |
| Dwelling no. | Wall type | Area (m") | Insulation | Low em option | ssions | Wall 1 | уре | Area | (m²) | Insulation | Low emission option |
| All dwellings | - | -0 | 1- | - | - 3 | - | | | 1 | | - |
| | Internal walls | | | | | | | | | | |
| | Interna | il walls shared v | with garage | | Internal | wall typ | e 1 | | | Internal wall ty | pe 2 |
| Dwelling no. | Wall type | Area (m*) | Insulation | Wall type | Area | m*) | Insulation | | Wall type | Area (m²) | Insulation |
| 1: | plasterboard, frame: timber - H2 treated softwood | 34.8 | fibreglass batts or roll | plasterboard, frame: timber - H2 treated softwood | 36.3 | | fibreglass b or roll | atts | plasterboard, frame: timber - H2 treated softwood | 212.2 | - 1 |
| All other dwellings | -1 | 81 | - | plasterboard, frame: timber - H2 treated softwood | 31.1 | | | | ė. | - | ** |
| | Ceiling and ro | of | 87 | 2 | 9 | | 35 | | | - 12 | |
| | FI | at ceiling / pitch | ed roof | Raked o | eiling / pit | ched or | skillion roof | | | Flat ceiling / fla | troof |
| Dwelling no. | Construction type | Area (m²) | Insulation | Construction type | Area | /m²) | Insulation | | Construction type | Area (m²) | Insulation |
| 1 | framed - metal roof, frame: timber - H2 treated | 334 | Ceiling fibreglass batts or roll,Roof; foil hanker blanker | e e | ं | | Ceiling:,Ro | of: | 0 | | Ceiling:,Root |

| (i) Water | | | | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|---|---------------------------------------|---|---------------------|---------------------------------|--------------------|
| | out the development, the applic eet the specifications listed for it | | or clothes washer into a common area, the | n that | - | - |
| (b) The applica the "Central specified in | nt must install (or ensure that the systems" column of the table bel the table. | as 🗸 | ~ | ~ | | |
| (c) A swimming table. | pool or spa listed in the table mu | | ~ | | | |
| (d) A pool or sp | a listed in the table must have a | cover or shading if specified for the | pool or spa in the table. | | - | |
| (e) The applica | nt must install each fire sprinkler | le. | _ | v | | |
| (f) The applican | must ensure that the central co | oling system for a cooling tower is o | onfigured as specified in the table. | | ~ | ¥ |
| Common area | Showerheads rating | Toilets rating | Taps rating | Clothes washe | rs rating | |
| All common areas | no common facility | no common facility | no common facility | not specified | | |
| (ii) Energy | | | | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
| | | | ervice a common area specified in the table and must meet the efficiency measure speci | | - | - |
| | | | f artificial lighting" for each common area so | ecified | | |
| (b) In carrying of in the table | ut the development, the applican selow, the lighting specified for the st also install a centralised lighting | nat common area. This lighting must | meet the efficiency measure specified. The gement System (BMS) for the common area | | • | ~ |

NSW, 2213

FOWLER YOUR HOME. OUR PASSION.

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: PRESTIGE

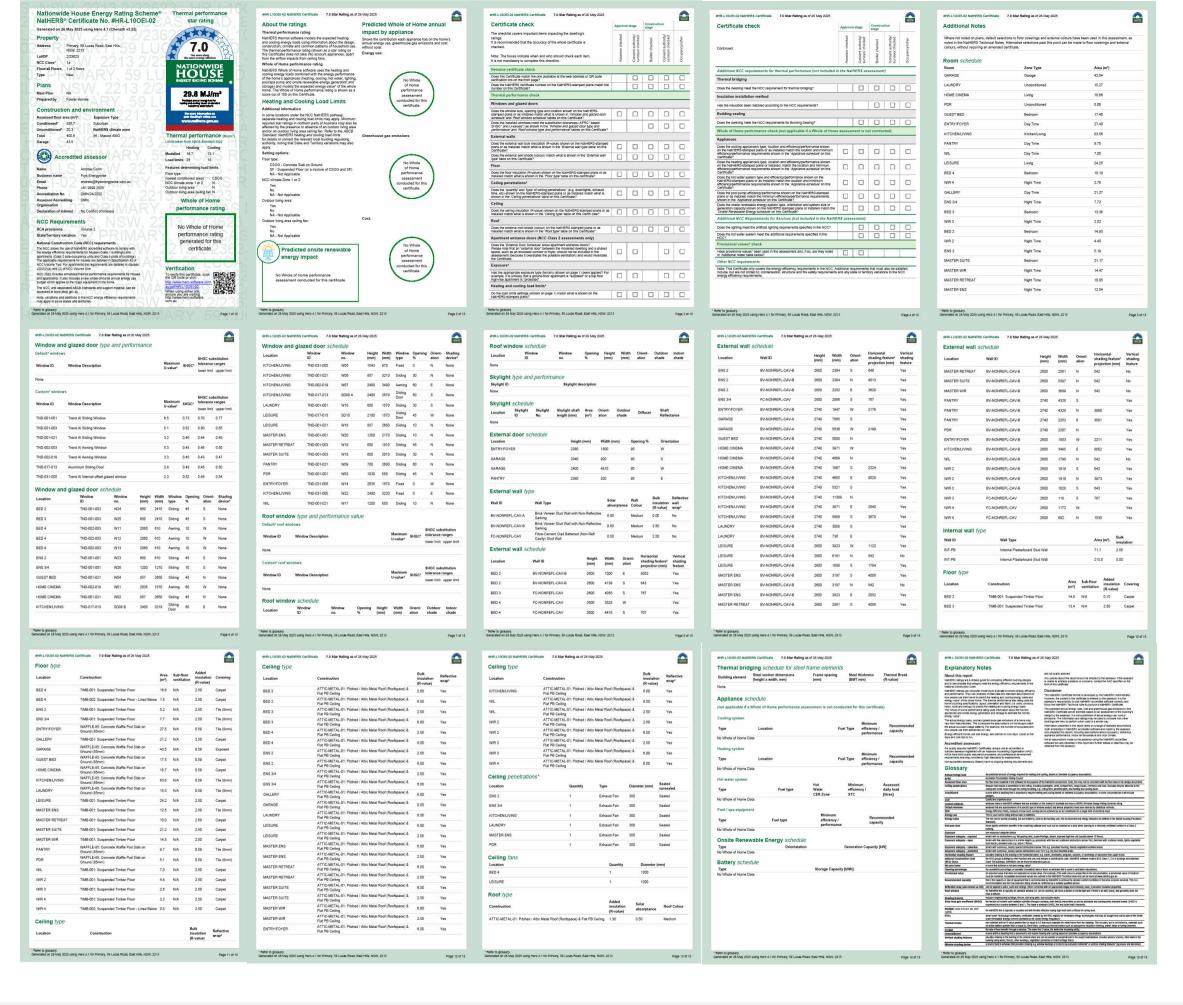
FACADE NAME: ARC JOB NO: 24-1117 30.05.25

BASIX SCALE: @ A3 DATE: SHEET NO:

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES. ermission of Fowler Homes Pty Ltd. Builders License 113647C.

SITE ADDRESS: LOT: 2 DP: 23623 (No. 59) LUCAS ROAD

EAST HILLS





 DESIGN NAME:
 FACADE NAME:
 NatHERS

 HEMISPHERE
 ARC
 SCALE: @ A3

 48-MASTER REAR PACKAGE:
 JOB NO: DATE:
 SHEET NO: O04

 PRESTIGE
 24-1117
 30.05.25
 004

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS:

LOT: 2

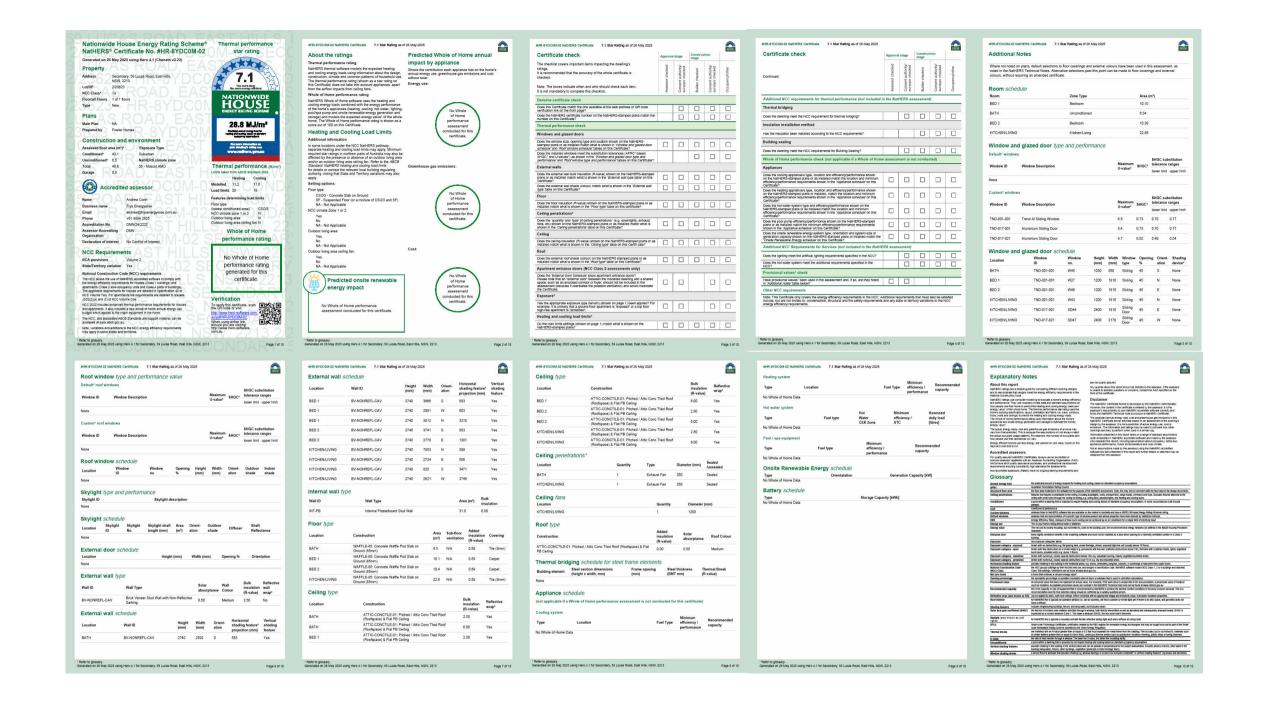
DP: 23623

(No. 59) LUCAS ROAD

EAST HILLS

NSW, 2213

B-1





 DESIGN NAME:
 FACADE NAME:
 NatHERS

 HEMISPHERE
 ARC
 SCALE: @ A3

 48-MASTER REAR
 JOB NO:
 DATE:
 SHEET NO:

 PRESTIGE
 24-1117
 30.05.25
 005

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

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DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES

SITE ADDRESS:

LOT: 2 DP: 23623

(No. 59) LUCAS ROAD

EAST HILLS NSW, 2213

B-1

DESIGN TO BE IN ACCORDANCE WITH ARBOCULTURAL IMPACT ASSESSMENT REPORT BY **RBOREPORT VEGETATION** MANAGEMENT CONSULTANT DATED 14.04.25

COUNCIL:

CANTERBURY BANKSTOWN

DEVELOPER: N/A

GROWTH CENTRE:

DA COUNCIL APPROVAL

COUNCIL APPROVAL REFER TO COUNCIL REGULATIONS FOR FURTHER DETAILS.

SITE AREA:

SITE COVERAGE

EXCLUDING FIRST FLOOR, PATIO, OUTDOOR RETREAT, BALCONY, DRIVEWAY GROUND FLOOR AREA: 197 26 m² GARAGE AREA: 46 96 m² GRANNY FLAT AREA: 59 67 m² EXISTING STRUCTURE AREA: 0.00 m²

PROPOSED

TOTAL FF: 26.27%

GROUND:75.00%

TOTAL GF: 34.08%

FLOOR SPACE RATIO

AREAS ARE MEASURED FROM INTERNAL FACE OF EXTERNAL WALLS. EXCLUDING
GARAGE & VOIDS

| GROUND FLOOR FSR: | 181.21 m ² |
|-------------------------|-----------------------|
| FIRST FLOOR FSR: | 193.21 m ² |
| GRANNY FLAT FSR: | 51.44 m ² |
| EXISTING STRUCTURE FSR: | 0.00 m ² |
| TOTAL GROSS FLOOR AREA: | 425.86 m ² |
| ALLOWED FSR: | 50.00% |
| PROPOSED FSR: | 47.75% |

LANDSCAPE AREA

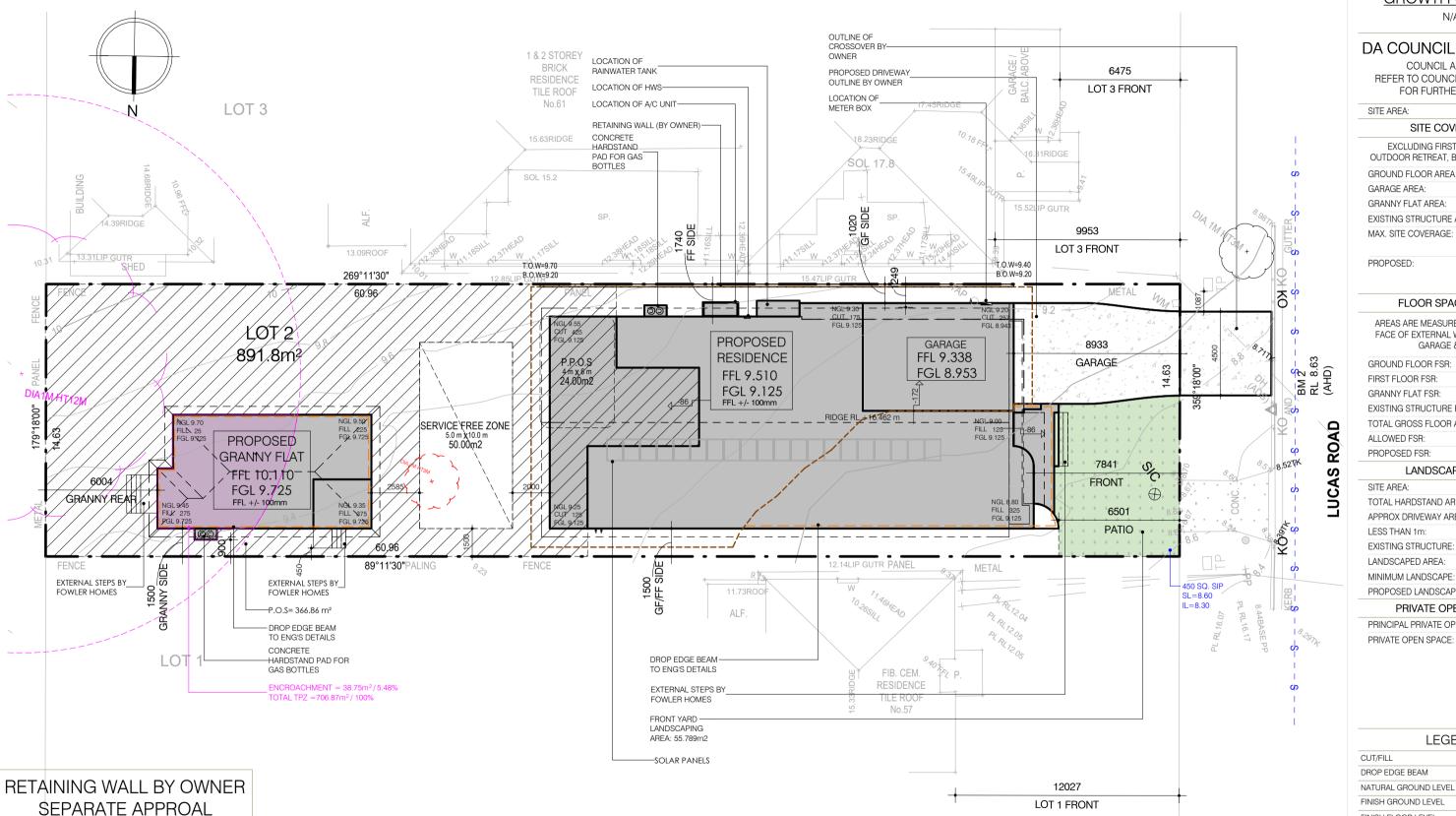
| SITE | AREA: | 891.8 | 30 m |
|------|-------------------|----------|------|
| TOTA | AL HARDSTAND ARE | A: 364.8 | 32 m |
| APPE | ROX DRIVEWAY AREA | A: 50.0 | 00 m |
| LESS | THAN 1m: | 50.0 | 00 m |
| EXIS | TING STRUCTURE: | 0.0 | 00 m |
| LAN | OSCAPED AREA: | 426.9 | 98 m |
| MINI | MUM LANDSCAPE: | | 0% |
| PRO | POSED LANDSCAPE | : 47 | .889 |

PRIVATE OPEN SPACE

PRINCIPAL PRIVATE OPEN SPACE: 24.00 m² PRIVATE OPEN SPACE:

LEGEND

| CUT/FILL | |
|----------------------|-----|
| DROP EDGE BEAM | |
| NATURAL GROUND LEVEL | NGL |
| FINISH GROUND LEVEL | FGL |
| FINISH FLOOR LEVEL | FFL |
| PRIVATE OPEN SPACE | |



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REQUIRED

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: **PRESTIGE**

FACADE NAME: **ARC** JOB NO: 24-1117

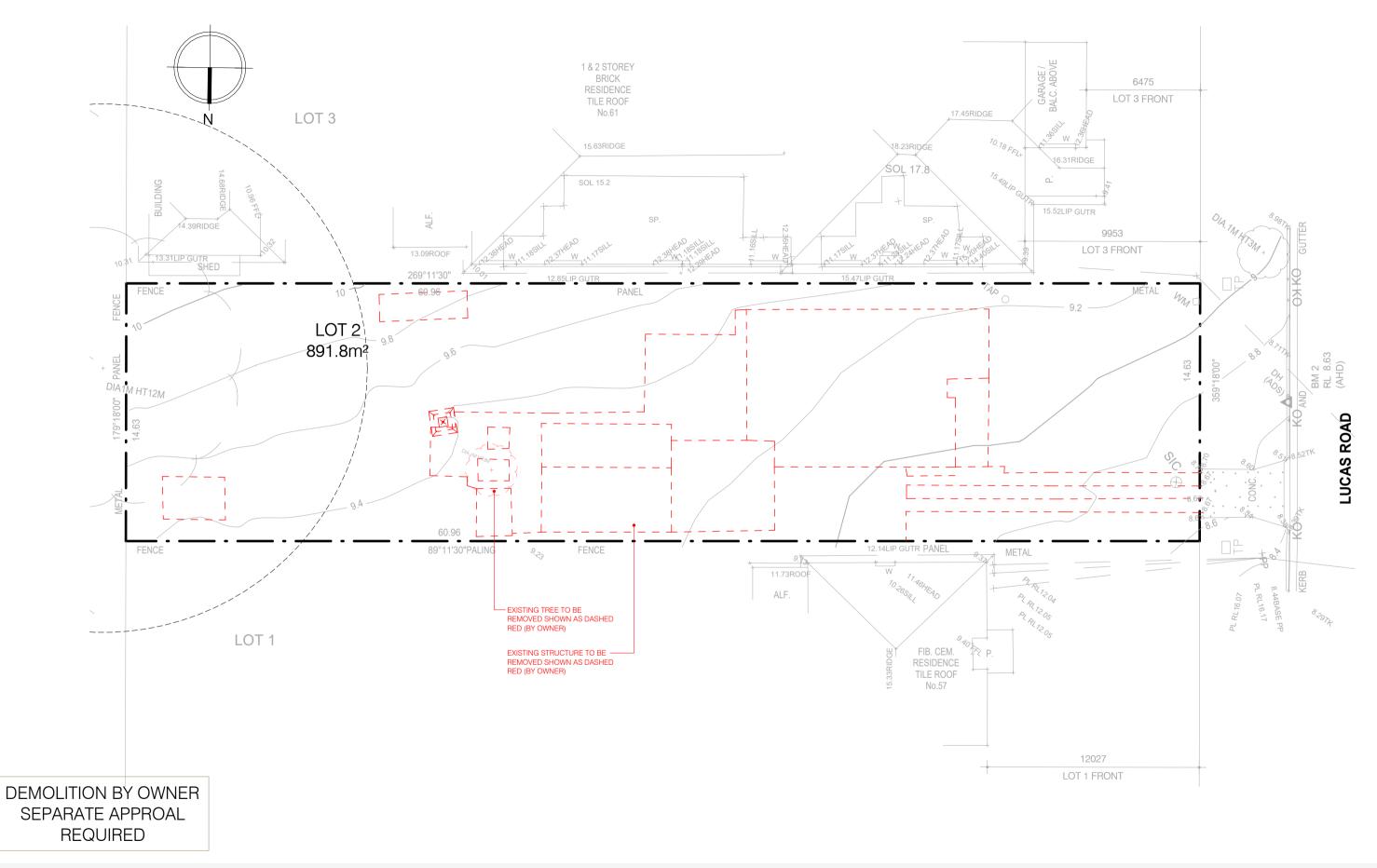
SITE PLAN SCALE: 1:200 @ A3 SHEET NO: DATE: 30.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES. SITE ADDRESS: LOT: 2 (No. 59) LUCAS ROAD **EAST HILLS**

DP: 23623

NSW, 2213

nission of Fowler Homes Pty Ltd. Builders License 113647C.





DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: PRESTIGE

FACADE NAME: ARC JOB NO:

DEMOLITION PLAN SCALE: 1:200 @ A3 DATE: SHEET NO: 24-1117 30.05.25

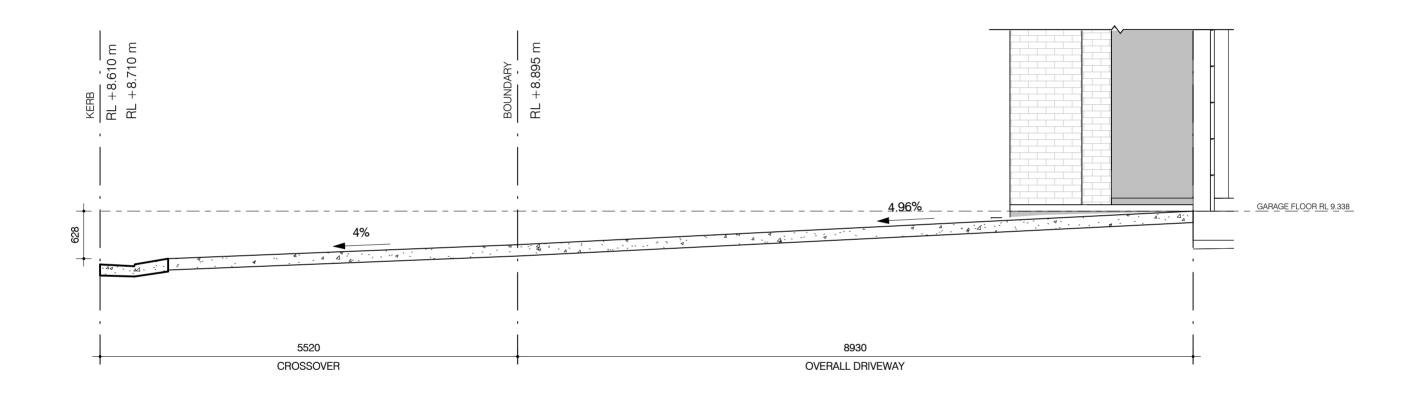
CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS: LOT: 2 DP: 23623 (No. 59) LUCAS ROAD

EAST HILLS NSW, 2213 B-1

REVISION:

ission of Fowler Homes Pty Ltd. Builders License 113647C.





DESIGN NAME: FACADE NAME:
HEMISPHERE ARC
48-MASTER REAR
PACKAGE: JOB NO:
PRESTIGE 24-1117

ARC SCALE: 1:50 @ A3

JOB NO: DATE: SHEET NO:
24-1117 30.05.25 008

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

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I MISSION OF FOWLER HOMES PLY LIG. Builders License 113647C.

SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

EAST HILLS

B-1

NSW, 2213

REVISION:

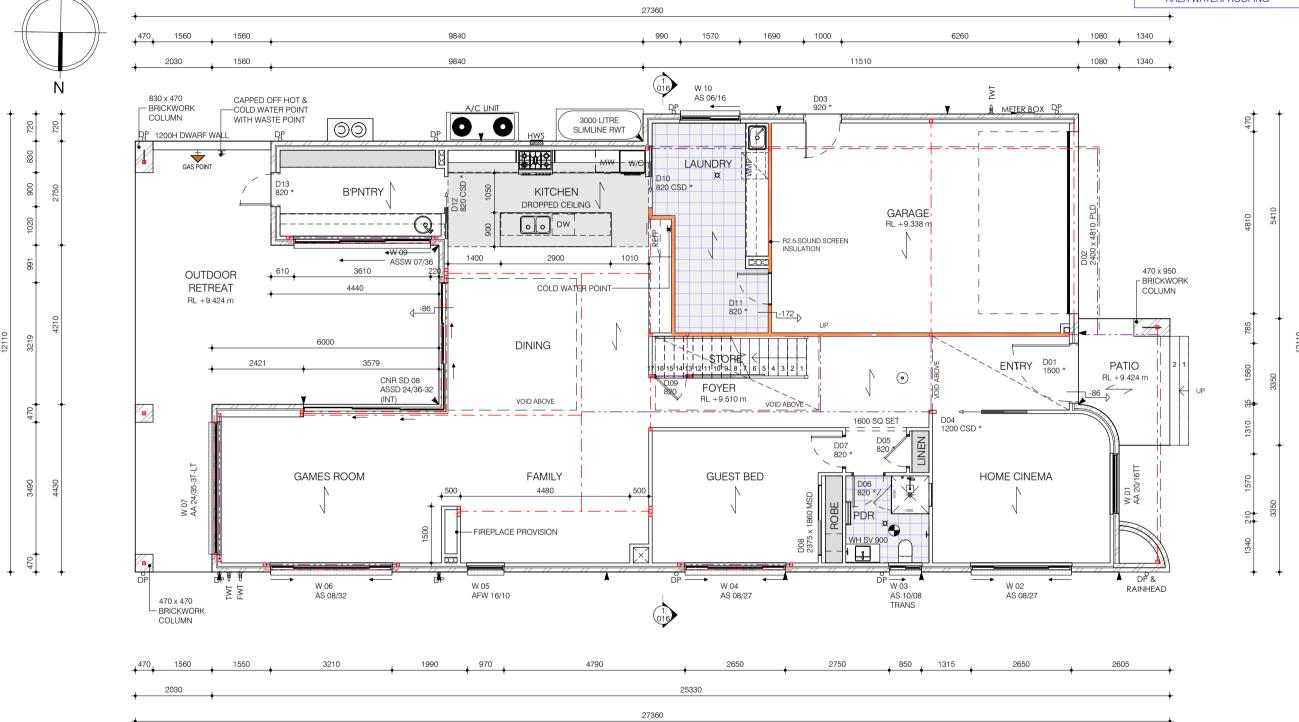
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BLUE WET AREAS INDICATE 40MM RECESSED AREAS TO GROUND FLOOR & 60MM TO FIRST FLOOR TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.

FLOOR WASTES TO COMPLY WITH ABCB HOUSING PROISIONS PARTS 10.2.7 THROUGH TO 10.2.32.

WATERPROOFING TO COMPLY WITH PART 10.2 OF THE NCC 2022 – "WET AREA WATERPROOFING"



NOTES:

- ALL SQUARE SET OPENINGS TO BE 2400mm HIGH TO GROUND FLOOR & FIRST FLOOR.
- ALL GROUND FLOOR & FIRST FLOOR INTERNAL, ENTRY, EXTERNAL AND
- LAUNDRY DOORS TO BE 2340mm HIGH.
 NCC 2022 SERIES BCA VOLUME 2 H5D3
 ABCB HOUSING PROVISIONS PART
 11.3.7
- ALL BATHROOMS, LAUNDRIES AND POWDER ROOMS, (THAT DO NOT HAVE A NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.6 COMPLIANT WINDOW) TO HAVE AN EXHAUST FAN PROVIDED TO COMPLY WITH NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.8.2(1) (3).
- FLOOR WASTES ARE TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.
- WET AREA WATERPROOFING TO COMPLY WITH ABCB HOUSING PROVISIONS PARTS 10.2.7 THROUGH TO 10.2.32.

IOTES:

- R2.5 INSULATION BETWEEN FLOORS - R2.5 WALL INSULATION TO ALL EXTERNAL WALLS
- R2.5 WALL INSULATION TO INTERNAL WALLS OF GARAGE, L'DRY - R6.0 CEILING INSULATION TO ROOF ABOVE
- R2.5 CEILING INSULATION TO LOW EDGE OF ROOF ABOVE
- LOW-E DOUBLE GLAZED TO SELECTED WINDOWS
 EXCLUDING WET AREAS REFER SCHEDULE
 12 CEILING FAN IN MAIN DWELLING LEISLIEF
- 1X CEILING FAN IN MAIN DWELLING LEISURE AND BED 4, GRANNY FLAT - KITCHEN/LIVING

LEGEND

MW MICROWAVE
DW DISHWASHER

WM WASHING MACHINE PROVISION

EFP FRIDGE PROVISION

* 2340 HIGH DOORS

EXHAUST FAN

FLOOR JOIST DIRECTION

TWT 🕒 TANK WATER TAP

FRESH WATER TAP

DP O DOWN PIPE LOCATION

FW X FLOOR WASTE

WS ○ WASTE STACK

EJ ▼ EXPANSION JOINTS

ROOF ACCESS

STRUCTURAL BEAMS TO ENGINEER'S SPECIFICATIONS

FLOOR AREAS

| GROUND FLOOR | 197.26 m ² |
|-----------------|-----------------------|
| FIRST FLOOR | 209.66 m ² |
| GARAGE | 46.96 m ² |
| PATIO | 7.19 m ² |
| OUTDOOR RETREAT | 52.67 m ² |
| BALCONY | 8.37 m ² |
| VOID | 27.32 m ² |
| TOTAL | 549.43 m ² |
| SQUARES | 59.14 |
| | |



DESIGN NAME:
HEMISPHERE
48-MASTER REAR
PACKAGE:
PRESTIGE

FACADE NAME:
ARC
JOB NO:
24-1117

 NAME:
 GROUND FLOOR PLAN

 ARC
 SCALE: 1:100 @ A3

 DB NO:
 DATE:
 SHEET NO:

 I-1117
 30.05.25
 009

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES

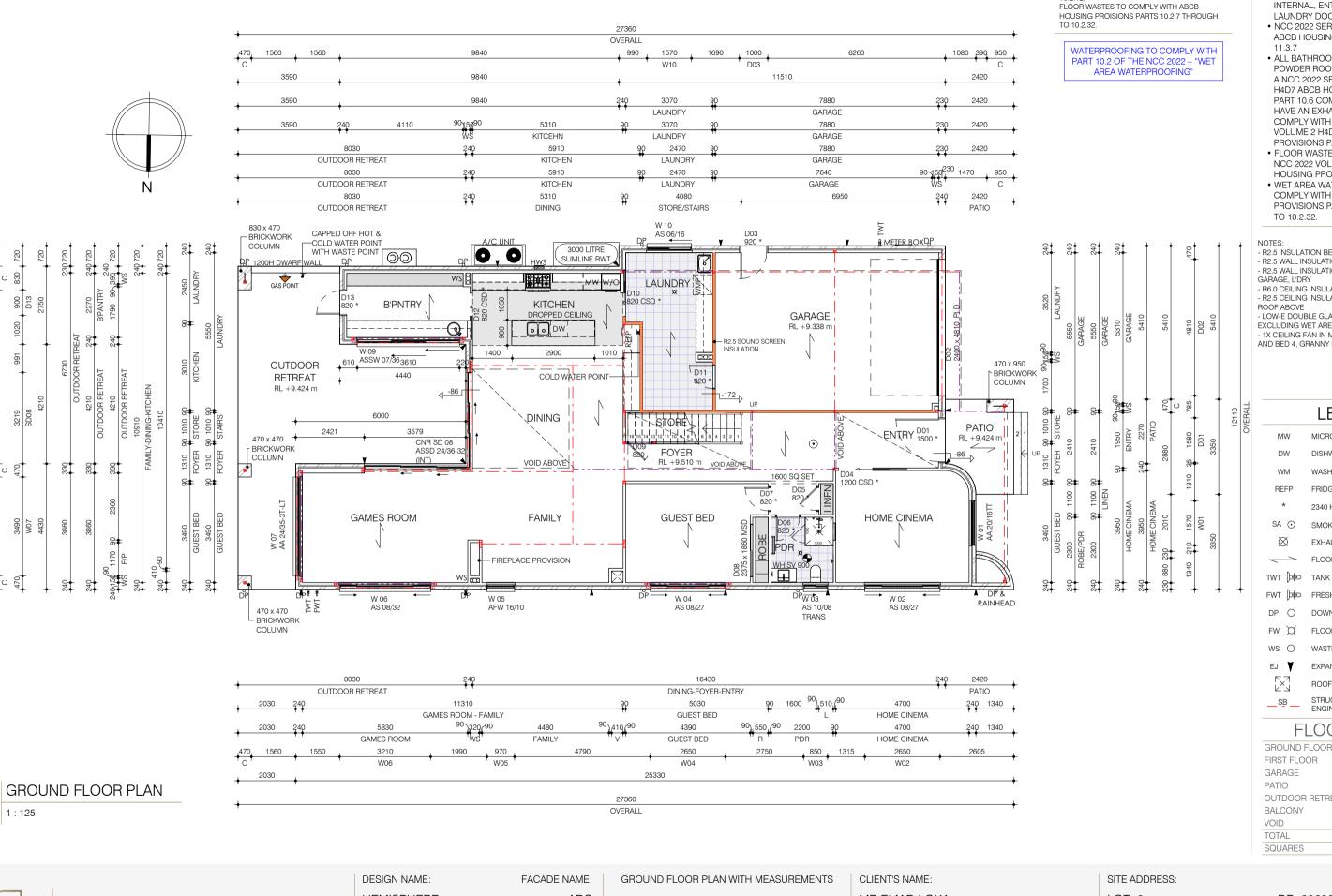
SITE ADDRESS:
LOT: 2
(No. 59) LUCAS ROAD
EAST HILLS

DP: 23623

REVISION:

NSW, 2213

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NOTES:

- ALL SQUARE SET OPENINGS TO BE 2400mm HIGH TO GROUND FLOOR &
- FIRST FLOOR. • ALL GROUND FLOOR & FIRST FLOOR INTERNAL, ENTRY, EXTERNAL AND
- LAUNDRY DOORS TO BE 2340mm HIGH • NCC 2022 SERIES BCA VOLUME 2 H5D3 ABCB HOUSING PROVISIONS PART
- ALL BATHROOMS, LAUNDRIES AND POWDER ROOMS, (THAT DO NOT HAVE A NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.6 COMPLIANT WINDOW) TO HAVE AN EXHAUST FAN PROVIDED TO COMPLY WITH NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.8.2(1) - (3)
- FLOOR WASTES ARE TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.
- WET AREA WATERPROOFING TO COMPLY WITH ABCB HOUSING PROVISIONS PARTS 10.2.7 THROUGH TO 10.2.32.

BLUE WET AREAS INDICATE 40MM RECESSED

AREAS TO GROUND FLOOR & 60MM TO FIRST FLOOR TO COMPLY WITH NCC 2022 VOLUME 2

H4D2 ABCB HOUSING PROVISIONS PART

- R2.5 INSULATION BETWEEN FLOORS R2.5 WALL INSULATION TO ALL EXTERNAL WALLS
- R2.5 WALL INSULATION TO INTERNAL WALLS OF GARAGE, L'DRY - R6.0 CEILING INSULATION TO ROOF ABOVE
- R2.5 CEILING INSULATION TO LOW EDGE OF ROOF ABOVE
- LOW-E DOUBLE GLAZED TO SELECTED WINDOWS EXCLUDING WET AREAS REFER SCHEDULE
- 1X CEILING FAN IN MAIN DWELLING LEISURE AND BED 4, GRANNY FLAT - KITCHEN/LIVING

LEGEND

MICROWAVE

DISHWASHER

WASHING MACHINE PROVISION

FRIDGE PROVISION

2340 HIGH DOORS

SMOKE ALARM

EXHAUST FAN

FLOOR JOIST DIRECTION

TANK WATER TAP

FRESH WATER TAP

DOWN PIPE LOCATION

FLOOR WASTE

WASTE STACK

EXPANSION JOINTS

ROOF ACCESS

STRUCTURAL BEAMS TO ENGINEER'S SPECIFICATIONS

FLOOR AREAS

| GROUND FLOOR | 197.2011 |
|-----------------|----------|
| FIRST FLOOR | 209.66 m |
| GARAGE | 46.96 m |
| PATIO | 7.19 m |
| OUTDOOR RETREAT | 52.67 m |
| BALCONY | 8.37 m |
| VOID | 27.32 m |
| TOTAL | 549.43 m |
| SQUARES | 59.1 |
| | |



HEMISPHERE 48-MASTER REAR PACKAGE: **PRESTIGE**

ARC JOB NO: 24-1117

SCALE: As indicated @ A3 DATE: SHEET NO: 30.05.25

MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

LOT: 2 (No. 59) LUCAS ROAD

EAST HILLS

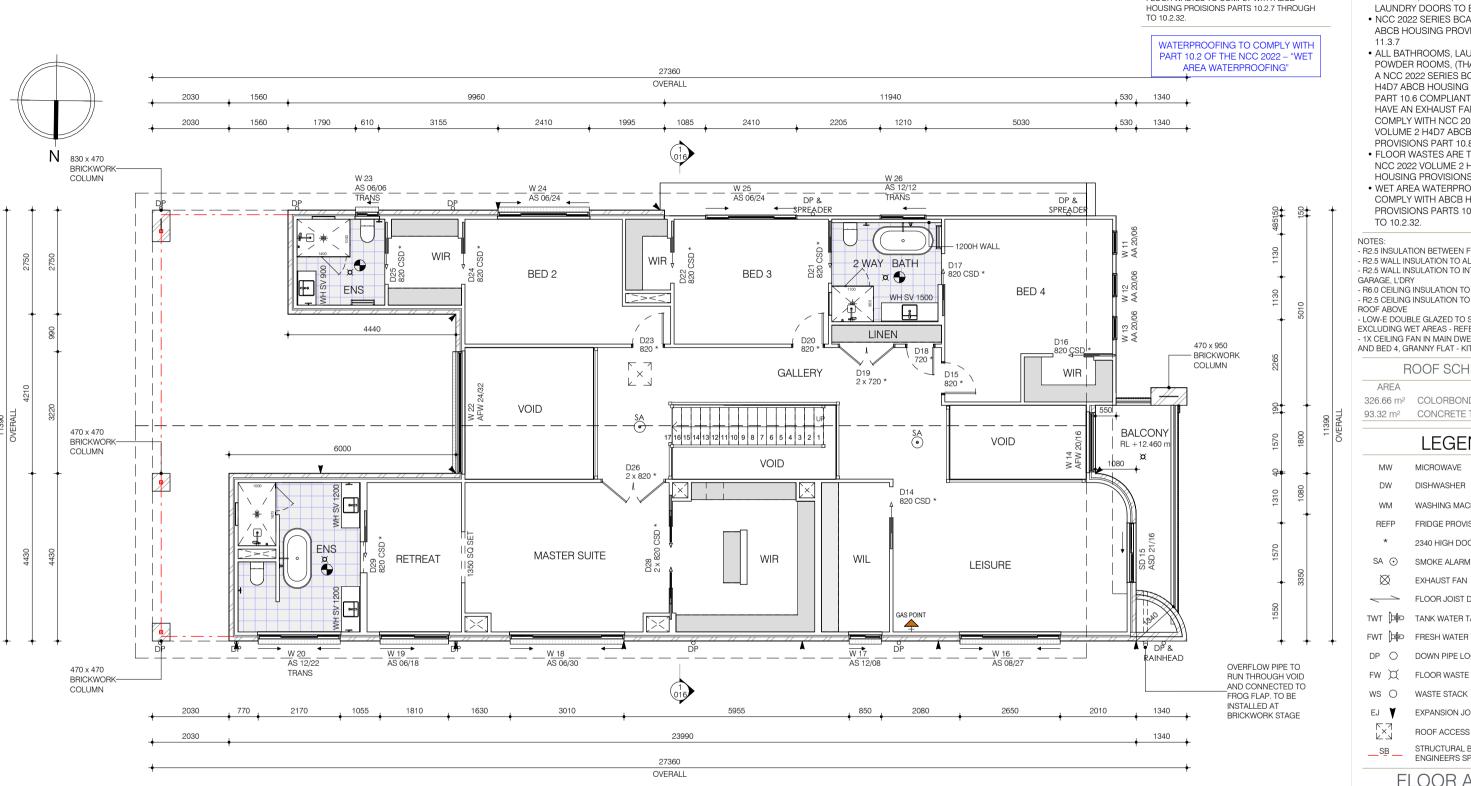
DP: 23623

NSW, 2213

B-1

REVISION:

nission of Fowler Homes Pty Ltd. Builders License 113647C.



NOTES:

- ALL SQUARE SET OPENINGS TO BE 2400mm HIGH TO GROUND FLOOR & FIRST FLOOR.
- ALL GROUND FLOOR & FIRST FLOOR INTERNAL, ENTRY, EXTERNAL AND LAUNDRY DOORS TO BE 2340mm HIGH
- NCC 2022 SERIES BCA VOLUME 2 H5D3 ABCB HOUSING PROVISIONS PART 11.3.7
- ALL BATHROOMS, LAUNDRIES AND POWDER ROOMS, (THAT DO NOT HAVE A NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.6 COMPLIANT WINDOW) TO HAVE AN EXHAUST FAN PROVIDED TO COMPLY WITH NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.8.2(1) – (3).
- FLOOR WASTES ARE TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.
- WET AREA WATERPROOFING TO COMPLY WITH ABCB HOUSING PROVISIONS PARTS 10.2.7 THROUGH TO 10.2.32.

BLUE WET AREAS INDICATE 40MM RECESSED

AREAS TO GROUND FLOOR & 60MM TO FIRST FLOOR TO COMPLY WITH NCC 2022 VOLUME 2

H4D2 ABCB HOUSING PROVISIONS PART

FLOOR WASTES TO COMPLY WITH ABCB

- R2.5 INSULATION BETWEEN FLOORS
- R2.5 WALL INSULATION TO ALL EXTERNAL WALLS R2.5 WALL INSULATION TO INTERNAL WALLS OF
- R6.0 CEILING INSULATION TO ROOF ABOVE R2.5 CEILING INSULATION TO LOW EDGE OF ROOF ABOVE
- LOW-E DOUBLE GLAZED TO SELECTED WINDOWS EXCLUDING WET AREAS REFER SCHEDULE 1X CEILING FAN IN MAIN DWELLING LEISURE AND BED 4, GRANNY FLAT - KITCHEN/LIVING

ROOF SCHEDULE

| AREA | TYPE |
|-----------------------|----------------|
| 326.66 m ² | COLORBOND ROOF |
| 93.32 m ² | CONCRETE TILES |
| | |

LEGEND

| MW | MICROWAVE |
|-------------|---------------------------|
| DW | DISHWASHER |
| WM | WASHING MACHINE PROVISION |
| REFP | FRIDGE PROVISION |
| * | 2340 HIGH DOORS |
| SA ⊙ | SMOKE ALARM |
| \boxtimes | EXHAUST FAN |
| | FLOOR JOIST DIRECTION |
| т₩т ⊨ | TANK WATER TAP |
| FWT ⊨ | FRESH WATER TAP |
| DP O | DOWN PIPE LOCATION |
| | |

WASTE STACK

EXPANSION JOINTS

ROOF ACCESS STRUCTURAL BEAMS TO ENGINEER'S SPECIFICATIONS

FLOOR AREAS

| | REVISION: |
|-----------------|-----------------------|
| SQUARES | 59.14 |
| OTAL | 549.43 m ² |
| /OID | 27.32 m ² |
| BALCONY | 8.37 m ² |
| DUTDOOR RETREAT | 52.67 m ² |
| PATIO | 7.19 m ² |
| GARAGE | 46.96 m ² |
| FIRST FLOOR | 209.66 m ² |
| GROUND FLOOR | 197.26 m ² |
| | |



DESIGN NAME: **HEMISPHERE** 48-MASTER REAR PACKAGE: **PRESTIGE**

FACADE NAME: JOB NO: 24-1117

FIRST FLOOR PLAN **ARC** SCALE: 1:100@A3 SHEET NO: DATE: 30.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

LOT: 2 (No. 59) LUCAS ROAD

SITE ADDRESS:

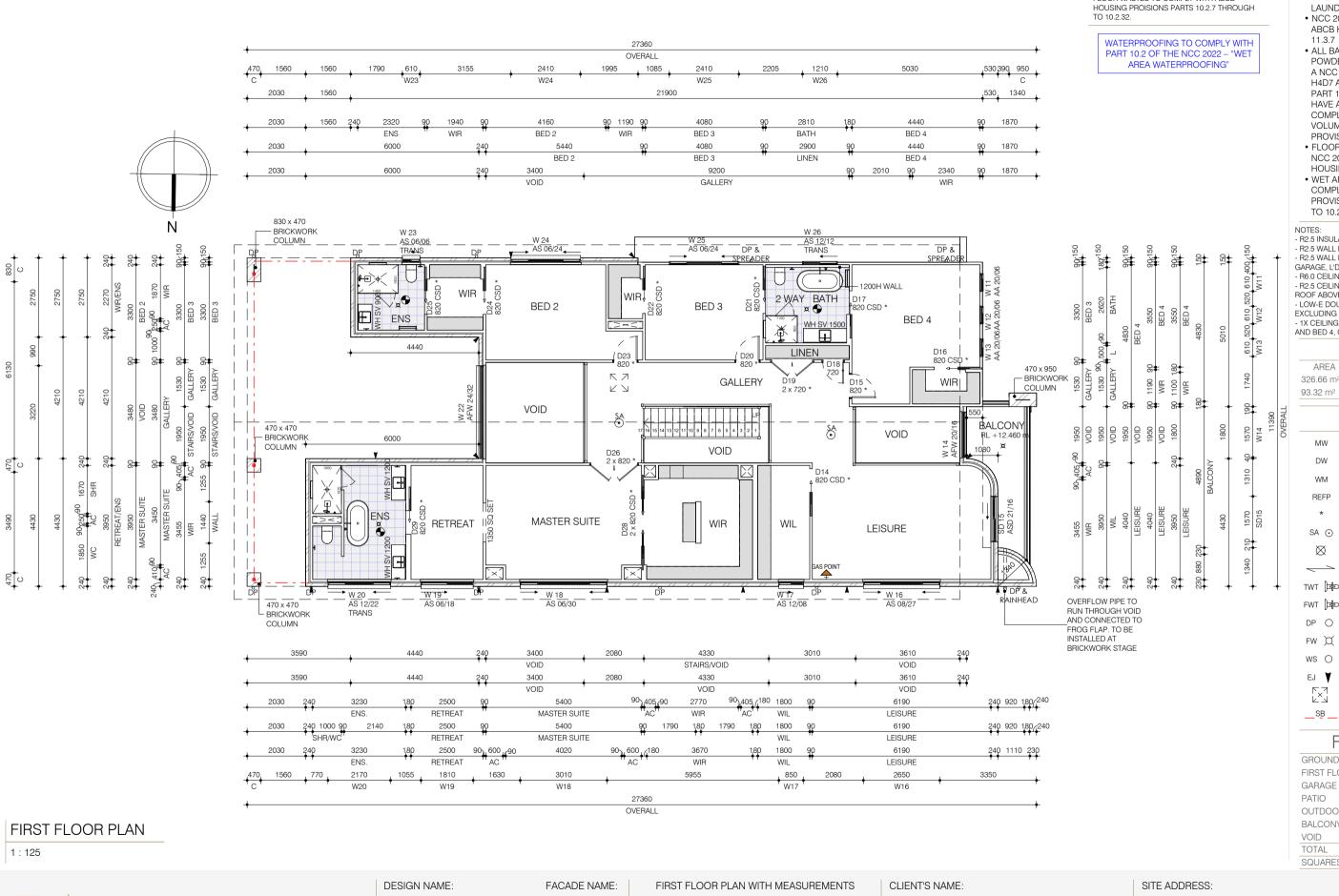
EAST HILLS

DP: 23623

NSW, 2213

B-1

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ARC

DATE:

30.05.25

JOB NO:

24-1117

SCALE: As indicated @ A3

MR EMAD LOKA

SHEET NO:

MRS NARDINE LOKA

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES. nission of Fowler Homes Pty Ltd. Builders License 113647C.

HEMISPHERE

PACKAGE:

PRESTIGE

48-MASTER REAR

FOWLER

YOUR HOME. OUR PASSION

NOTES:

- ALL SQUARE SET OPENINGS TO BE 2400mm HIGH TO GROUND FLOOR &
- FIRST FLOOR. • ALL GROUND FLOOR & FIRST FLOOR INTERNAL, ENTRY, EXTERNAL AND
- LAUNDRY DOORS TO BE 2340mm HIGH • NCC 2022 SERIES BCA VOLUME 2 H5D3 ABCB HOUSING PROVISIONS PART
- ALL BATHROOMS, LAUNDRIES AND POWDER ROOMS, (THAT DO NOT HAVE A NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.6 COMPLIANT WINDOW) TO HAVE AN EXHAUST FAN PROVIDED TO COMPLY WITH NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.8.2(1) - (3).
- FLOOR WASTES ARE TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.
- WET AREA WATERPROOFING TO COMPLY WITH ABCB HOUSING PROVISIONS PARTS 10.2.7 THROUGH TO 10.2.32.

BLUE WET AREAS INDICATE 40MM RECESSED

AREAS TO GROUND FLOOR & 60MM TO FIRST FLOOR TO COMPLY WITH NCC 2022 VOLUME 2

H4D2 ABCB HOUSING PROVISIONS PART

FLOOR WASTES TO COMPLY WITH ABCB

LOT: 2

EAST HILLS

(No. 59) LUCAS ROAD

- R2.5 INSULATION BETWEEN FLOORS - R2.5 WALL INSULATION TO ALL EXTERNAL WALLS - R2.5 WALL INSULATION TO INTERNAL WALLS OF
- R6.0 CEILING INSULATION TO ROOF ABOVE R2.5 CEILING INSULATION TO LOW EDGE OF
- ROOF ABOVE
- LOW-E DOUBLE GLAZED TO SELECTED WINDOWS EXCLUDING WET AREAS - REFER SCHEDULE
 - 1X CEILING FAN IN MAIN DWELLING - LEISURE AND BED 4, GRANNY FLAT - KITCHEN/LIVING

ROOF SCHEDULE

| AREA | TYPE |
|-----------------------|----------------|
| 326.66 m ² | COLORBOND ROOF |
| 93.32 m ² | CONCRETE TILES |
| | |

LEGEND

| MW | MICROWAVE |
|-------------|---------------------------|
| DW | DISHWASHER |
| WM | WASHING MACHINE PROVISION |
| REFP | FRIDGE PROVISION |
| * | 2340 HIGH DOORS |
| SA ⊙ | SMOKE ALARM |
| \boxtimes | EXHAUST FAN |
| | FLOOR JOIST DIRECTION |

TWT TANK WATER TAP

FWT Þ FRESH WATER TAP DOWN PIPE LOCATION

FLOOR WASTE

EJ 🔻 EXPANSION JOINTS

ROOF ACCESS

STRUCTURAL BEAMS TO

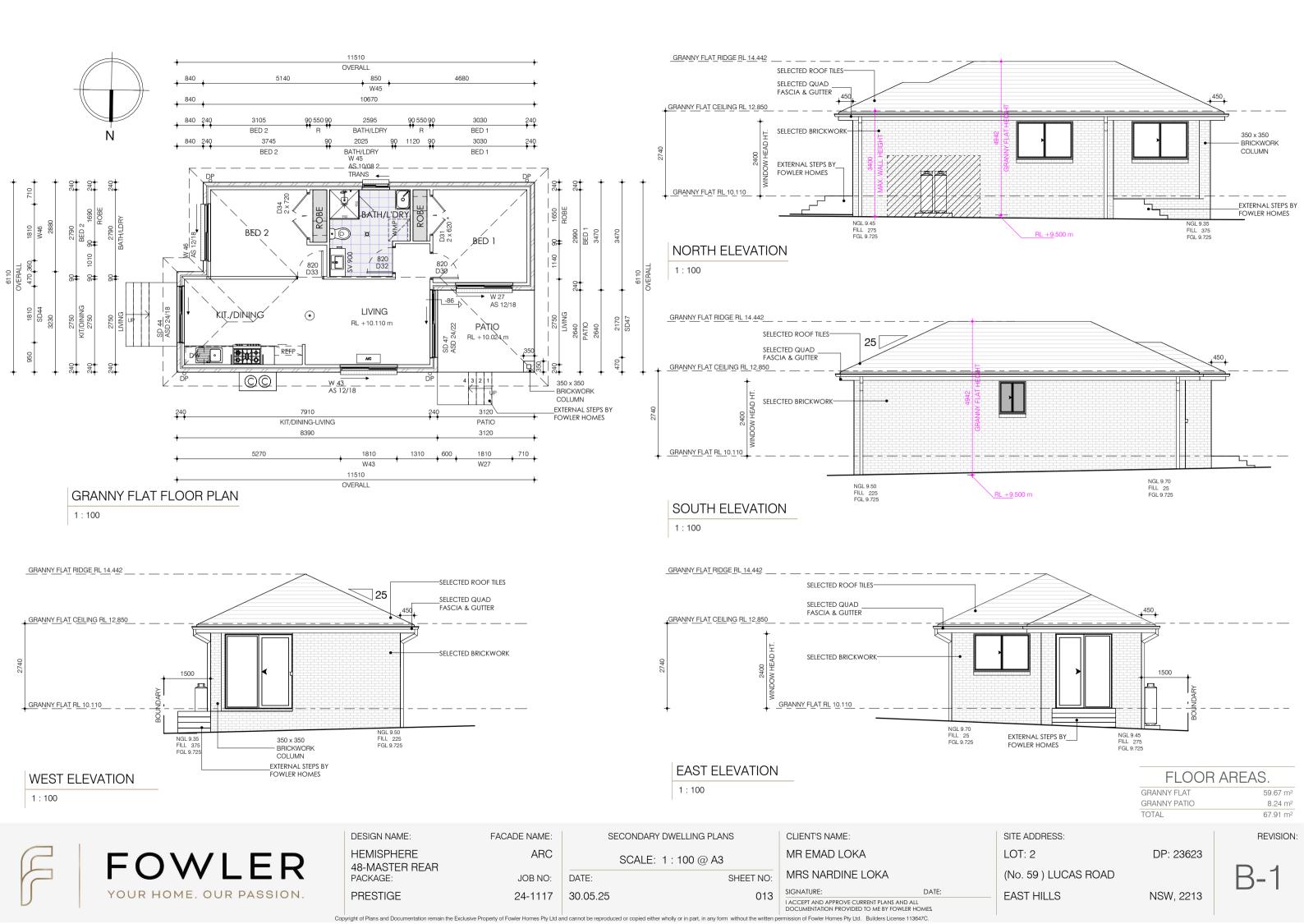
FLOOR AREAS CROLIND EL COR

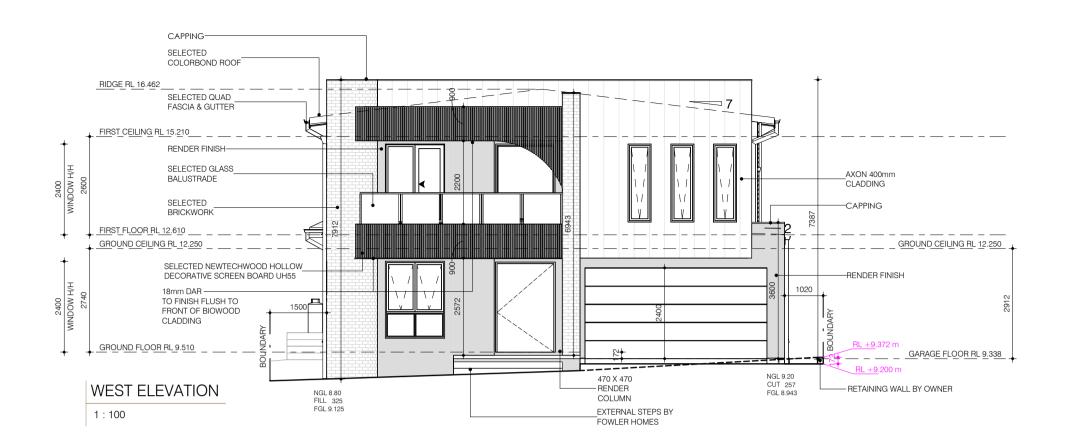
| GROUND FLOOR | 197.201112 |
|-----------------|-----------------------|
| FIRST FLOOR | 209.66 m ² |
| GARAGE | 46.96 m ² |
| PATIO | 7.19 m ² |
| OUTDOOR RETREAT | 52.67 m ² |
| BALCONY | 8.37 m ² |
| VOID | 27.32 m ² |
| TOTAL | 549.43 m ² |
| SQUARES | 59.14 |
| | |

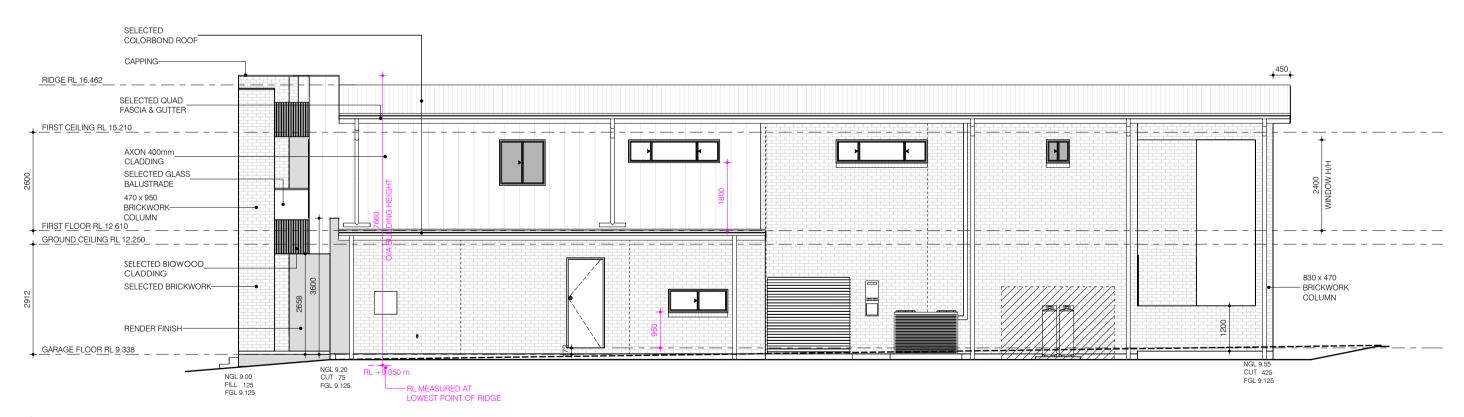
DP: 23623

NSW, 2213

B-1







SOUTH ELEVATION

1:100



| DESIGN NAME: | FACADE NAME: | | ELEVATIONS |
|------------------------------|--------------|----------|-----------------|
| HEMISPHERE 48-MASTER REAR | ARC | | SCALE: 1:100@A3 |
| PACKAGE: | JOB NO: | DATE: | SHEET NO: |
| PRESTIGE | 24-1117 | 30.05.25 | 014 |

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

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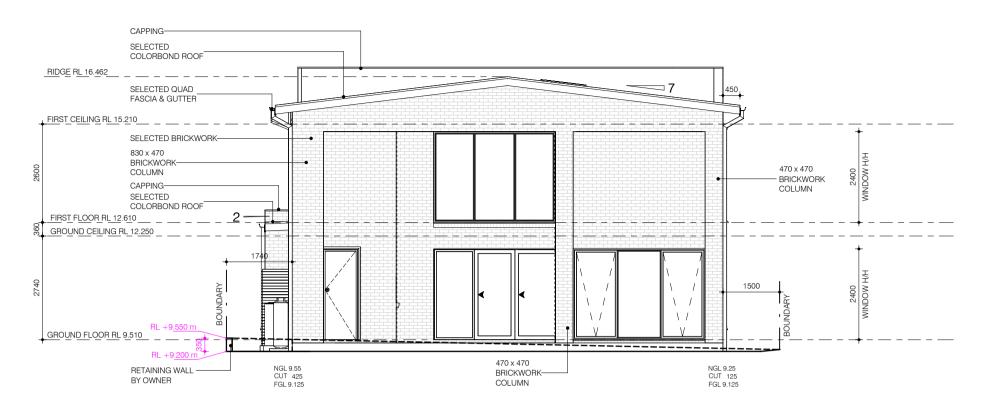
SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

EAST HILLS NSW, 2213

B-1

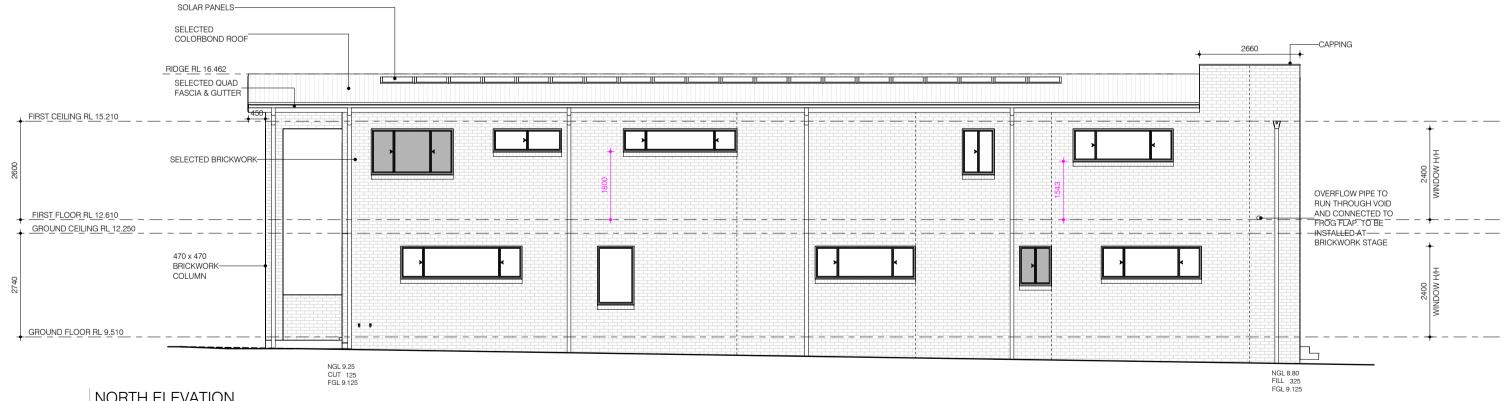
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EAST ELEVATION

1:100



NORTH ELEVATION

1:100

YOUR HOME. OUR PASSION.

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: PRESTIGE

FACADE NAME: ARC JOB NO: 24-1117

ELEVATIONS SCALE: 1:100@A3 DATE: SHEET NO: 30.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA

SITE ADDRESS: LOT: 2

EAST HILLS

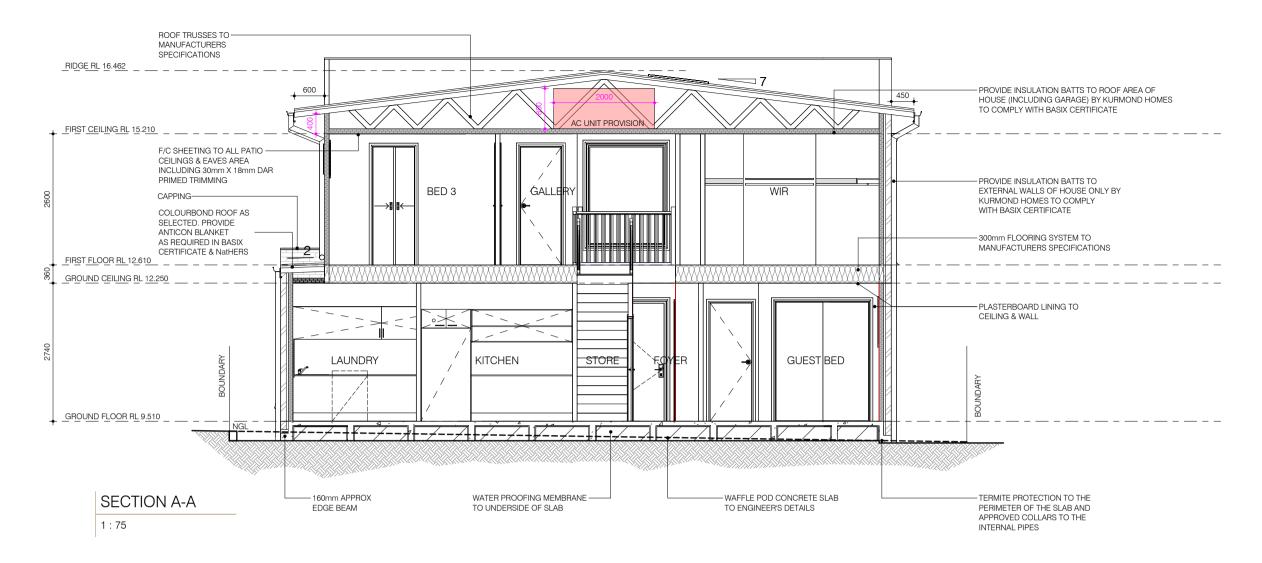
DP: 23623

(No. 59) LUCAS ROAD

B-1 NSW, 2213

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NCC NOTES:

- DWELLING CONSISTS OF TIMBER FRAMES
- MECHANICAL VENTILATION MUST HAVE MINIMUM EXHAUST RATE OF 25L/A, WITH EXHAUST BEING DUCTED TO THE OUTSIDE WITH THE FANS BEING ACTIVATED BY THE LIGHT SWITCH AND HAVING A 10-MINUTE RUN ON AS REQUIRED BY THE NCC 2022 SERIES BCA VOLUME 2 H4D7 HOUSING PROVISIONS PART 10.6.2.
- WET AREAS TO BE 40MM RECESSED AREAS TO GROUND FLOOR & 50MM TO FIRST FLOOR TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.
- FLOOR WASTE LOCATIONS TO BE CONFIRMED AT CONSTRUCTION DRAWINGS TO COMPLY WITH ABCB HOUSING PROVISIONS PARTS 10.2.7 THROUGH 10.2.32.
- ALL EXTERNAL SIDE HUNG DOOR AND ANY INTERNAL SIDE HUNG DOOR BETWEEN THE DWELLING AND THE GARAGE AS BEING PROVIDED WITH A DRAFT PROTECTION DEVICE AND THE OUTER EDGES OF THE DOOR BEING FITTED WITH A FOAM, RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE TO RESTRICT AIR INFILTRATION TO COMPLY WITH NCC 2022 BCA VOLUME 2 PART H6 HOUSING PROVISIONS 13.4.4.
- SHOULD A PLIABLE MEMBRANE BE PROPOSED PROVIDE PLANS NOMINATING THE MEMBRANE HAS A 'VAPOUR PERMEANCE' OF NO LESS THAN 1.14ug/N.s AS REQUIRED BY THE NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.1(2)(B) 7. PROVIDE PLANS INDICATING THE LOCATIONS OF THE REQUIRED MINIMUM OF 7000 mm²/M OF ROOF VENTILATION AT THE EAVES AS REQUIRED BY THE NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.3(1)(C) AND TABLE 10.8.3.
- CEILING INSTALLATION BEING INSTALLED SO THAT THERE IS A MINIMUM GAP OF 20MM BETWEEN INSULATION AND SARKING TO COMPLY WITH NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.3(1)(B) AND EXPLANATORY FIGURE 10.8.3.
- DWELLING IS LOCATED WITHIN CLIMATE ZONE 6 AND SHOULD BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT NCC PROVISIONS.

| NCC 2022 HOUSING PROVISIONS - Par | t 10.8 Condensation Management | | | | |
|-----------------------------------|--------------------------------|--|--|--|--|
| PROJECT [| DETAILS | | | | |
| ROOF DESCRIPTION: | ROOF "A" | | | | |
| BUSHFIRE AFFECTED: | NO | | | | |
| CLIMATE ZONE: | | | | | |
| ROOF PITCH: | 7° | | | | |
| EAVE LENGTH: | 25.15m | | | | |
| CALCULATIONS | | | | | |
| EAVE VENT AREA REQUIRED: | 628750mm ² | | | | |
| ROOF VENT AREA REQUIRED: | 0mm² | | | | |
| SPECIFICA | ATIONS | | | | |
| EXTERNAL WALL C | ONSTRUCTION: | | | | |
| PLIABLE MEMBRANE: | YES | | | | |
| WALL WRAP PERMEANCE VALUE: | 1.14 ug/N.s | | | | |
| EAVE VE | :NTS: | | | | |
| EAVE VENT MANUFACTURER AND MODEL: | BRADFORD METAL EAVE VENT | | | | |
| EAVE VENT OPENNESS FACTOR: | 35000 mm ² | | | | |
| NUMBER OF EAVE VENTS REQUIRED: | 17.964286 | | | | |
| ROOF VE | ENTS: | | | | |
| ROOF VENT MANUFACTURER AND MODEL: | AMPELITE SPINAWAY | | | | |
| ROOF VENT OPENNESS FACTOR: | 62500 mm ² | | | | |
| NUMBER OF ROOF VENTS REQUIRED: | 0 | | | | |



| DESIGN NAME: | FACADE NAME: | | SECTION | |
|------------------------------|--------------|----------|--------------------|-------|
| HEMISPHERE 48-MASTER REAR | ARC | | SCALE: 1 : 75 @ A3 | |
| PACKAGE: | JOB NO: | DATE: | SHEE | T NO: |
| PRESTIGE | 24-1117 | 30.05.25 | | 016 |

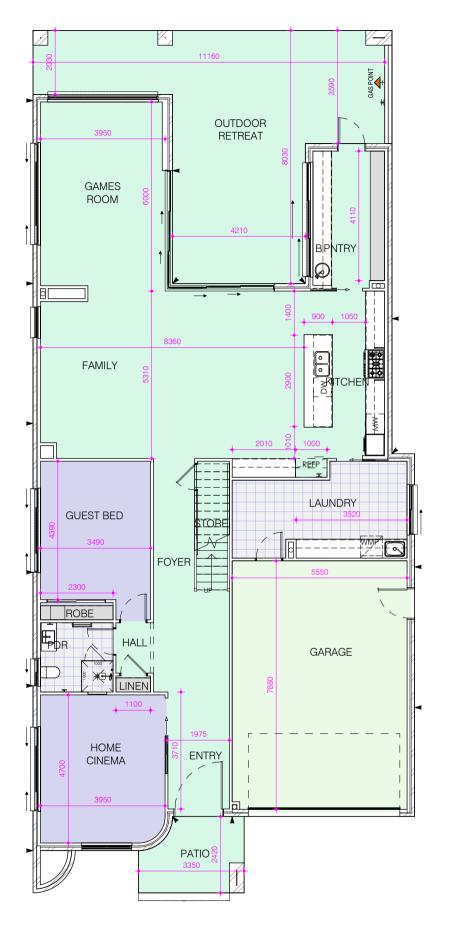
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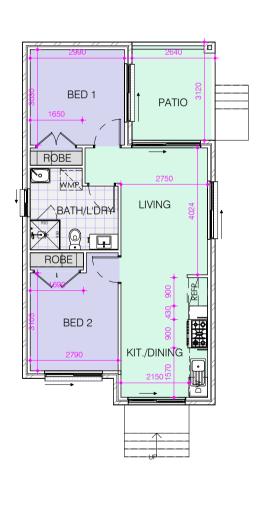
| I ACCEPT AND APPROVE CURRENT PLANS A | | |
|--------------------------------------|-------|---|
| SIGNATURE: | DATE: | F |
| MRS NARDINE LOKA | | (|
| MR EMAD LOKA | | L |
| CLIENT'S NAME: | | S |

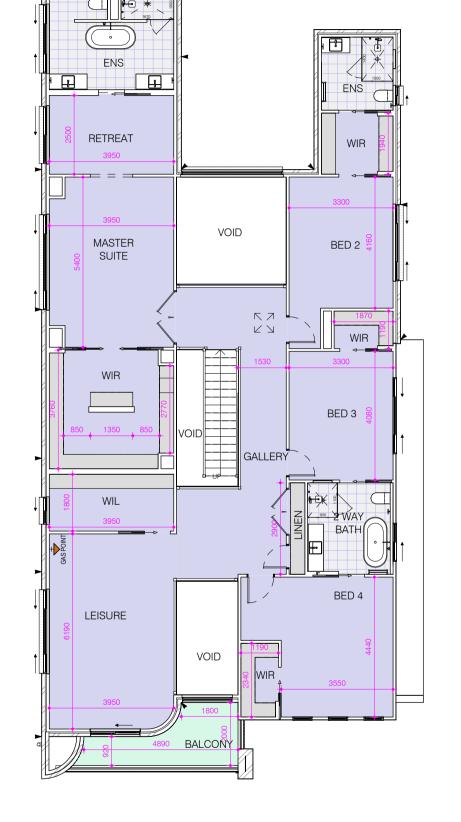
SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

EAST HILLS NSW, 2213

B-1







ALPHA FLOOR PANELS FOR FIRST FLOOR

PROVIDE SAND & CEMENT SCREEDED BED TO MAIN FLOOR TILES, OUTDOOR RETREAT & PATIO FOR A 40mm FINISH

REVISION:

FLOOR COVERINGS

CARPET

CONCRETE

EPOXY

TILES

GROUND FLOOR PLAN

GRANNY FLAT FLOOR PLAN

FIRST FLOOR PLAN

FOWLER YOUR HOME. OUR PASSION.

DESIGN NAME:
HEMISPHERE
48-MASTER REAR
PACKAGE:
PRESTIGE

E: FACA ERE R REAR

FACADE NAME:

ARC

JOB NO: DA

24-1117 30

FLOOR COVERING PLAN

SCALE: 1 : 120 @ A3

DATE: SHEET NO: 30.05.25 017

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

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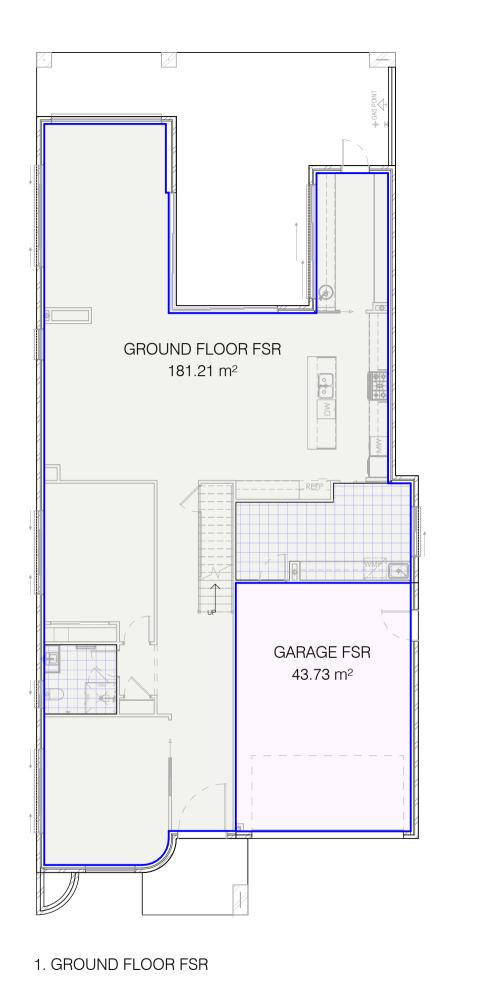
SITE ADDRESS: LOT: 2 (No. 59) LUCAS ROAD

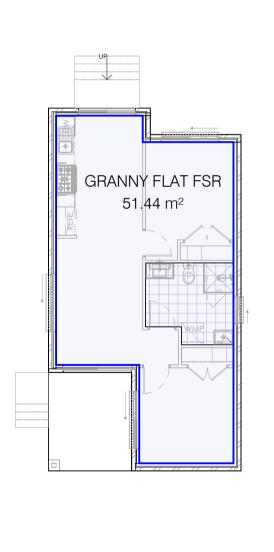
EAST HILLS

DP: 23623

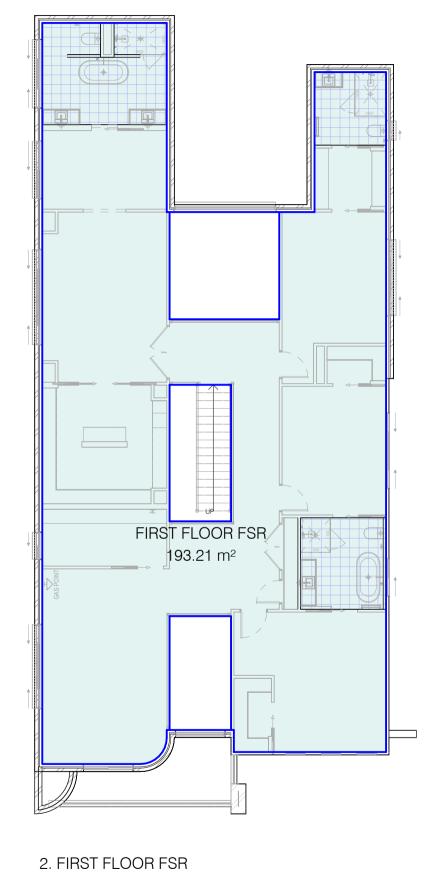
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3. GRANNY FLAT FSR



FLOOR SPACE AREA

GROUND FLOOR FSR 181.21 m² GRANNY FLAT FSR 51.44 m² GARAGE FSR 43.73 m² FIRST FLOOR FSR

COLOUR SCHEME

GROUND FLOOR FSR

GARAGE FSR

GRANNY FLAT FSR

FIRST FLOOR FSR

FOWLER YOUR HOME. OUR PASSION.

DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: PRESTIGE

FACADE NAME: ARC JOB NO: 24-1117

FLOOR SPACE RATIO PLAN SCALE: 1:120@A3 DATE: SHEET NO: 30.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA

LOT: 2 (No. 59) LUCAS ROAD EAST HILLS

SITE ADDRESS:

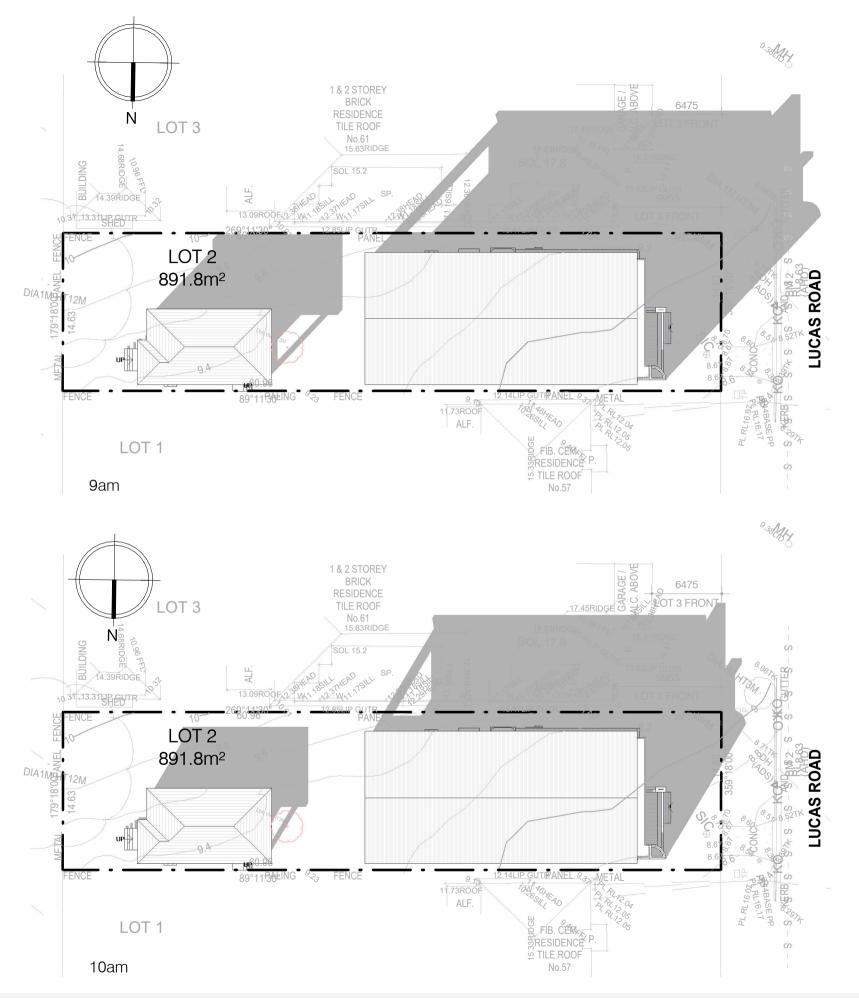
DP: 23623

NSW, 2213

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REVISION:

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 DESIGN NAME:
 FACADE NAME:
 SHADOW DIAGRAMS, 21st JUNE 9am & 10am

 HEMISPHERE
 ARC
 SCALE: 1: 350 @ A3

 48-MASTER REAR
 JOB NO:
 DATE:
 SHEET NO:

 PRESTIGE
 24-1117
 30.05.25
 019

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

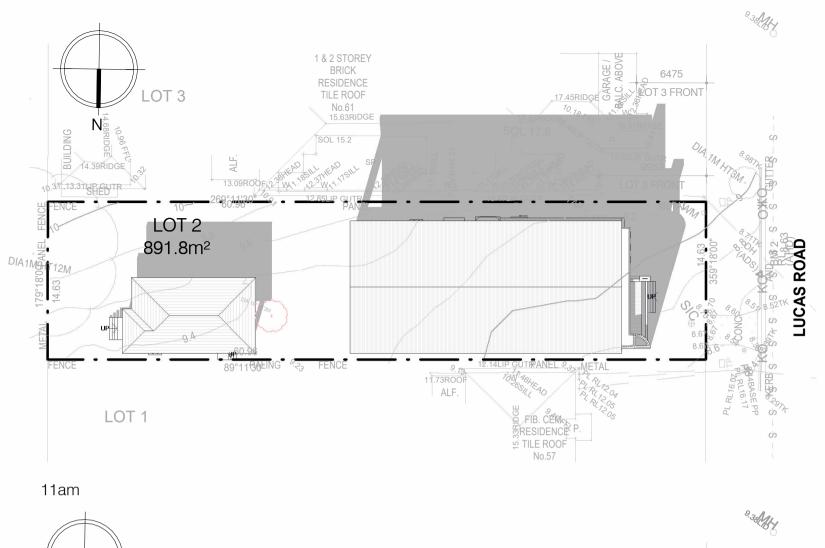
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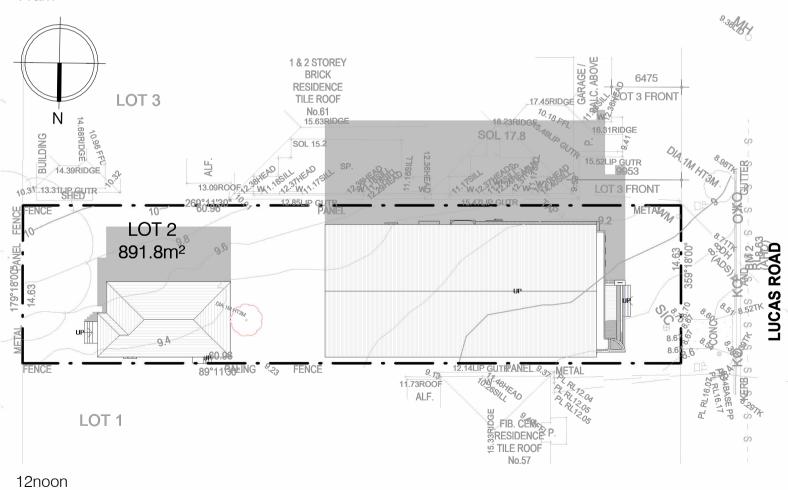
SITE ADDRESS:
LOT: 2
DP: 23623
(No. 59) LUCAS ROAD

NSW, 2213

EAST HILLS

B-1







| DESIGN NAME: | FACADE NAME: | SHADOW | DIAGRAMS, 21st JUNE 11am & 12noon |
|------------------------------|--------------|----------|-----------------------------------|
| HEMISPHERE 48-MASTER REAR | ARC | | SCALE: 1 : 350 @ A3 |
| PACKAGE: | JOB NO: | DATE: | SHEET NO: |
| PRESTIGE | 24-1117 | 30.05.25 | 020 |
| | | | |

CLIENT'S NAME:

MR EMAD LOKA

LOT: 2

MRS NARDINE LOKA

(No. 59) LUC

SIGNATURE:

DATE:

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EAST HILLS

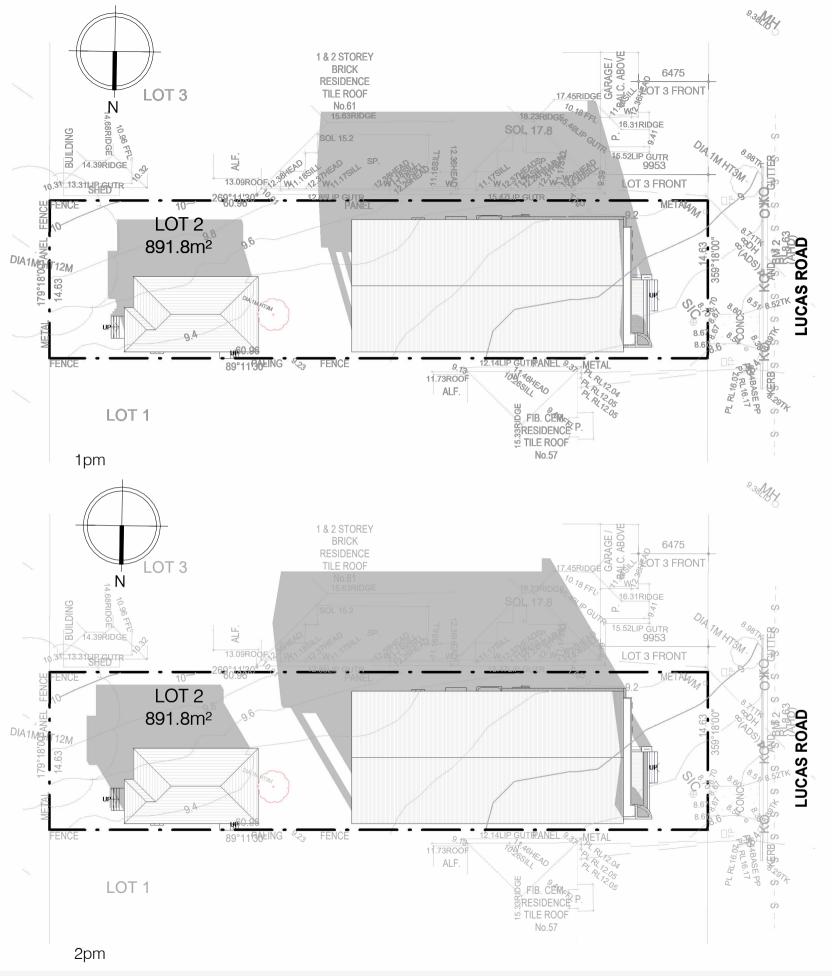
SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

NSW, 2213

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 DESIGN NAME:
 FACADE NAME:
 SHADOW DIAGRAMS, 21st JUNE 1pm & 2pm

 HEMISPHERE
 ARC
 SCALE: 1: 350 @ A3

 48-MASTER REAR
 JOB NO:
 DATE:
 SHEET NO:

 PRESTIGE
 24-1117
 30.05.25
 021

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

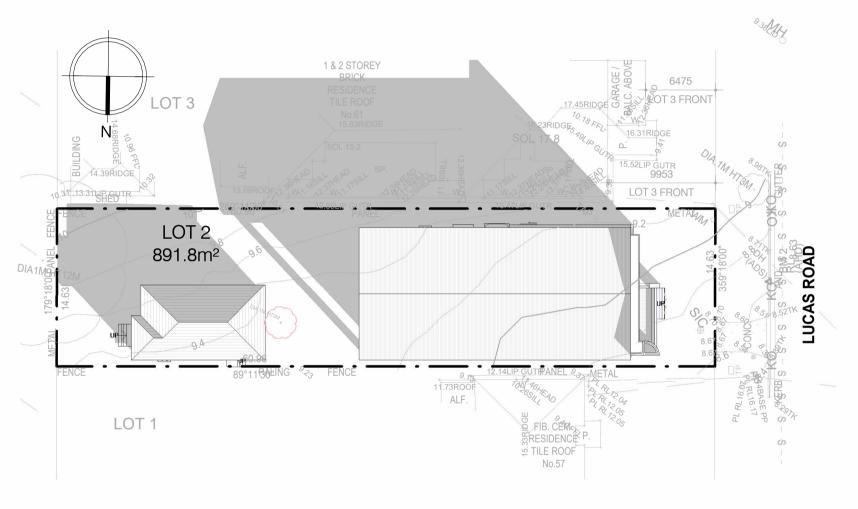
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SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

NSW, 2213

EAST HILLS

B-1



3pm



DESIGN NAME:

HEMISPHERE
48-MASTER REAR
PACKAGE:

DATE:

SHADOW DIAGRAMS, 21st JUNE 3pm

SCALE: 1:350 @ A3

DATE:

SHEE

SHEE

SHEE

DATE:

SHEE

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES

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SHEET NO:

SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

NSW, 2213

EAST HILLS

B-1

| TYPE | MARK | CODE | HEIGHT | WIDTH | STYLE | FRAME TYPE | OBSCURED GLAZING | Glazing |
|--------|------|---------------------|--------|------------|-----------------|--------------------|---------------------|----------------------------|
| V | 01 | AA 20/16TT | 2035 | 1570 | AWNING | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| N | 02 | AS 08/27 | 857 | 2650 | SLIDING | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| V | 03 | AS 10/08 | 1030 | 850 | SLIDING | STANDARD ALUMINIUM | Yes | |
| N | 04 | AS 08/27 | 857 | 2650 | SLIDING | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| N | 05 | AFW 16/10 | 1543 | 970 | FIXED | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| V | 06 | AS 08/32 | 857 | 3210 | SLIDING | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| W | 07 | AA 24/35-3T-LT | 2400 | 3490 | AWNING | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| CNR SD | 08 | ASSD 24/36-32 (INT) | 2400 | 3579 x3219 | CORNER STACKING | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| W | 09 | ASSW 07/36 | 700 | 3610 | SLIDING | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| W | 10 | AS 06/16 | 600 | 1570 | SLIDING | STANDARD ALUMINIUM | No | |
| W | 11 | AA 20/06 | 2060 | 610 | AWNING | STANDARD ALUMINIUM | No | SP10 LOW-E |
| W | 12 | AA 20/06 | 2060 | 610 | AWNING | STANDARD ALUMINIUM | No | SP10 LOW-E |
| W | 13 | AA 20/06 | 2060 | 610 | AWNING | STANDARD ALUMINIUM | No | SP10 LOW-E |
| W | 14 | AFW 20/16 | 2035 | 1570 | FIXED | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| SD | 15 | ASD 21/16 | 2100 | 1570 | SLIDING | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| W | 16 | AS 08/27 | 857 | 2650 | SLIDING | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| W | 17 | AS 12/08 | 1200 | 850 | SLIDING | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| W | 18 | AS 06/30 | 600 | 3010 | SLIDING | STANDARD ALUMINIUM | No | SP10 LOW-E |
| W | 19 | AS 06/18 | 600 | 1810 | SLIDING | STANDARD ALUMINIUM | No | SP10 LOW-E |
| W | 20 | AS 12/22 | 1200 | 2170 | SLIDING | STANDARD ALUMINIUM | Yes | |
| W | 22 | AFW 24/32 | 2400 | 3220 | FIXED | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |
| W | 23 | AS 06/06 | 600 | 610 | SLIDING | STANDARD ALUMINIUM | Yes | |
| W | 24 | AS 06/24 | 600 | 2410 | SLIDING | STANDARD ALUMINIUM | No | SP10 LOW-E |
| W | 25 | AS 06/24 | 600 | 2410 | SLIDING | STANDARD ALUMINIUM | No | SP10 LOW-E |
| W | 26 | AS 12/12 | 1200 | 1210 | SLIDING | STANDARD ALUMINIUM | Yes | |
| W | 27 | AS 12/18 | 1200 | 1810 | SLIDING | STANDARD ALUMINIUM | No | |
| N | 43 | AS 12/18 | 1200 | 1810 | SLIDING | STANDARD ALUMINIUM | No | |
| SD | 44 | ASD 24/18 | 2400 | 1810 | SLIDING | STANDARD ALUMINIUM | No | |
| N | 45 | AS 10/08 2 | 1030 | 850 | SLIDING | STANDARD ALUMINIUM | Yes | |
| W | 46 | AS 12/18 | 1200 | 1810 | SLIDING | STANDARD ALUMINIUM | No | |
| SD | 47 | ASD 24/22 | 2400 | 2170 | SLIDING | STANDARD ALUMINIUM | No | DOUBLE GLAZED / SP10 LOW-E |

| DOOR SCHEDULE | | | | |
|---------------|---|--------|-------|-----------------|
| MARK | TYPE | HEIGHT | WIDTH | TO ROOM |
| 01 | Entry Door: 1500 * | 2340 | 1500 | ENTRY |
| 02 | Garage_Door: 2400 x 4810_PLD | 2400 | 4810 | GARAGE |
| 03 | External_Door: 920 * | 2340 | 920 | GARAGE |
| 04 | Cavitiy_Sliding_Door: 1200 CSD * | 2340 | 1200 | HOME CINEMA |
| 05 | Internal Door: 820 * | 2340 | 820 | HALL |
| 06 | Internal_Door: 820 * | 2340 | 820 | PDR |
| 07 | Internal_Door: 820 * | 2340 | 820 | GUEST BED |
| 08 | Mirror Sliding Doors 2 Panel: 2375 x 1860 MSD | 2375 | 1860 | ROBE |
| 09 | Internal_Door: 820 | 2040 | 820 | FOYER |
| 10 | Cavitiy_Sliding_Door: 820 CSD * | 2340 | 820 | LAUNDRY |
| 11 | Internal Door: 820 * | 2340 | 820 | LAUNDRY |
| 12 | Cavitiy Sliding Door: 820 CSD * | 2340 | 820 | KITCHEN |
| 13 | External Door: 820 * | 2340 | 820 | OUTDOOR RETREAT |
| 14 | Cavitiy Sliding Door: 820 CSD * | 2340 | 820 | LEISURE |
| 15 | Internal_Door: 820 * | 2340 | 820 | BED 4 |
| 16 | Cavitiy Sliding Door: 820 CSD * | 2340 | 820 | BED 4 |
| 17 | Cavitiy_Sliding_Door: 820 CSD * | 2340 | 820 | 2 WAY BATH |
| 18 | Internal Door: 720 * | 2340 | 720 | GALLERY |
| 19 | Internal_Double_Door: 2 x 720 * | 2340 | 1440 | GALLERY |
| 20 | Internal Door: 820 * | 2340 | 820 | BED 3 |
| 21 | Cavitiy Sliding Door: 820 CSD * | 2340 | 820 | 2 WAY BATH |
| 22 | Cavitiy Sliding Door: 820 CSD * | 2340 | 820 | WIR |
| 23 | Internal_Door: 820 * | 2340 | 820 | BED 2 |
| 24 | Cavitiy_Sliding_Door: 820 CSD * | 2340 | 820 | WIR |
| 25 | Cavitiy_Sliding_Door: 820 CSD * | 2340 | 820 | ENS |
| 26 | Internal_Double_Door: 2 x 820 * | 2340 | 1640 | MASTER SUITE |
| 28 | Cavitiy_Sliding_Double_Door: 2 x 820 CSD * | 2340 | 1640 | WIR |
| 29 | Cavitiy_Sliding_Door: 820 CSD * | 2340 | 820 | ENS |
| 30 | Internal_Door1: 820 | 2040 | 820 | BED 1 |
| 31 | Internal_Double_Door: 2 x 620 * | 2340 | 1240 | BED 1 |
| 32 | Internal_Door1: 820 | 2040 | 820 | BATH/L'DRY |
| 33 | Internal_Door1: 820 | 2040 | 820 | BED 2 |
| 34 | Internal Double Door1: 2 x 720 | 2040 | 1440 | BED 2 |



DESIGN NAME:
HEMISPHERE
48-MASTER REAR
PACKAGE:
PRESTIGE

FACADE NAME:
ARC
JOB NO:
24-1117

WINDOWS & DOORS SCHEDULES

SCALE: @ A3

DATE: SHEET NO: 30.05.25 023

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES

SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

EAST HILLS

B-1

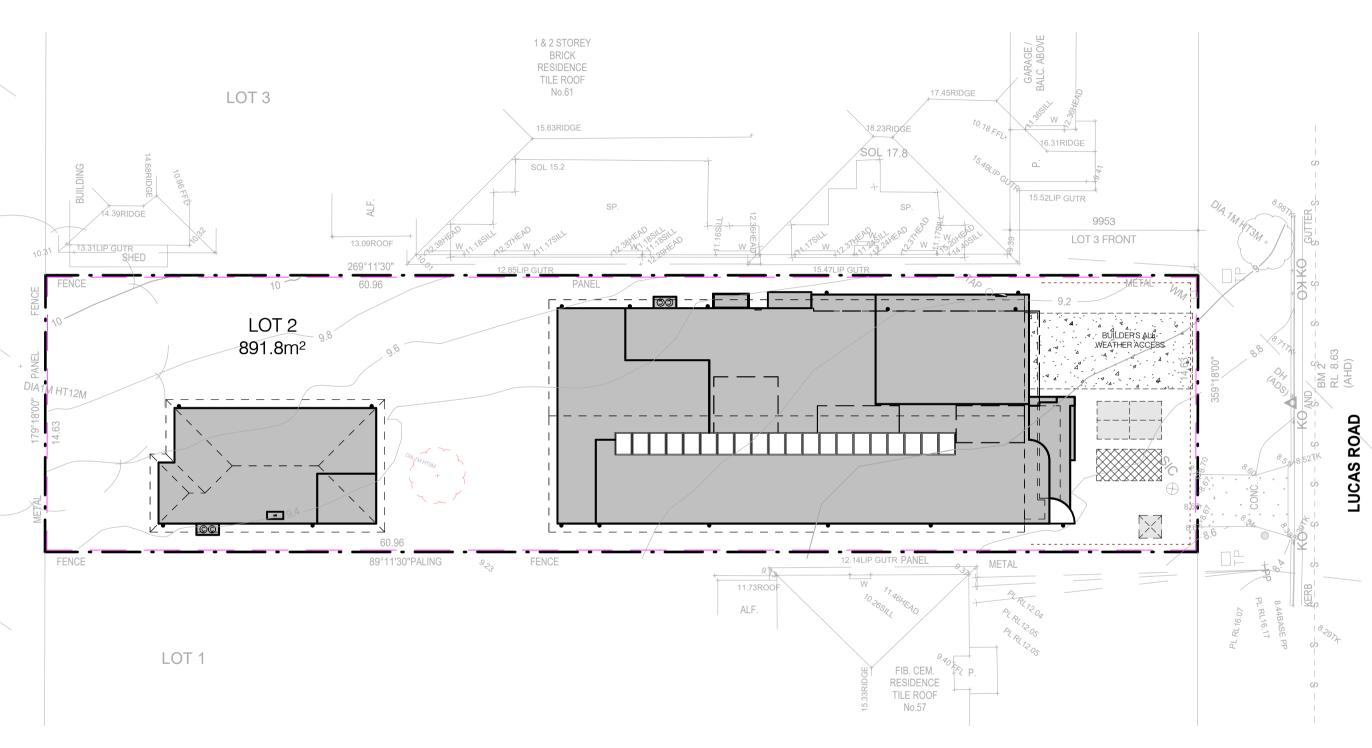
NSW, 2213

REVISION:

PRESTIGE 24-TIT7 30.05.25 U23 TACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

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NOISE AND VIBRATION CONTROL

-BOREHOLE REPORT SHOWS NO ROCK WITHIN SITE. MINIMAL VIBRATION AND NOISE DURING PIER HOLE DRILLING.

- SITE PLAN INDICATES MINIMAL CUT AND FILL. PLANT USE WILL BE LOW IMPACT AND FOR MINIMAL TIMBERFRAMES.

SEDIMENT CONTROL **NOTES**

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL. SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL 4. ALL SEDIMENT BASING AND TRAFS STRAIGHTERS ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGITATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

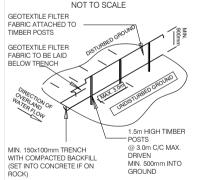
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE, ALL ROADS AND FOOTPATHS TO BE SWEPT DAILY.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT

BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER

8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE



| LEGEND | | | |
|--------|------------------------|--|--|
| | CONSTRUCTION FENCE | | |
| | SEDIMENT CONTROL FENCE | | |
| | WASTE STOCKPILE | | |
| | BUILDERS WASTE | | |
| Ài. | ALL WEATHER ACCESS | | |
| X | ONSITE PORTABLE TOILET | | |



DESIGN NAME: HEMISPHERE 48-MASTER REAR PACKAGE: PRESTIGE

FACADE NAME: **ARC** JOB NO: 24-1117

SITE MANAGEMENT PLAN SCALE: As indicated @ A3 SHEET NO: DATE: 30.05.25

CLIENT'S NAME: MR EMAD LOKA MRS NARDINE LOKA I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS: LOT: 2 (No. 59) LUCAS ROAD **EAST HILLS**

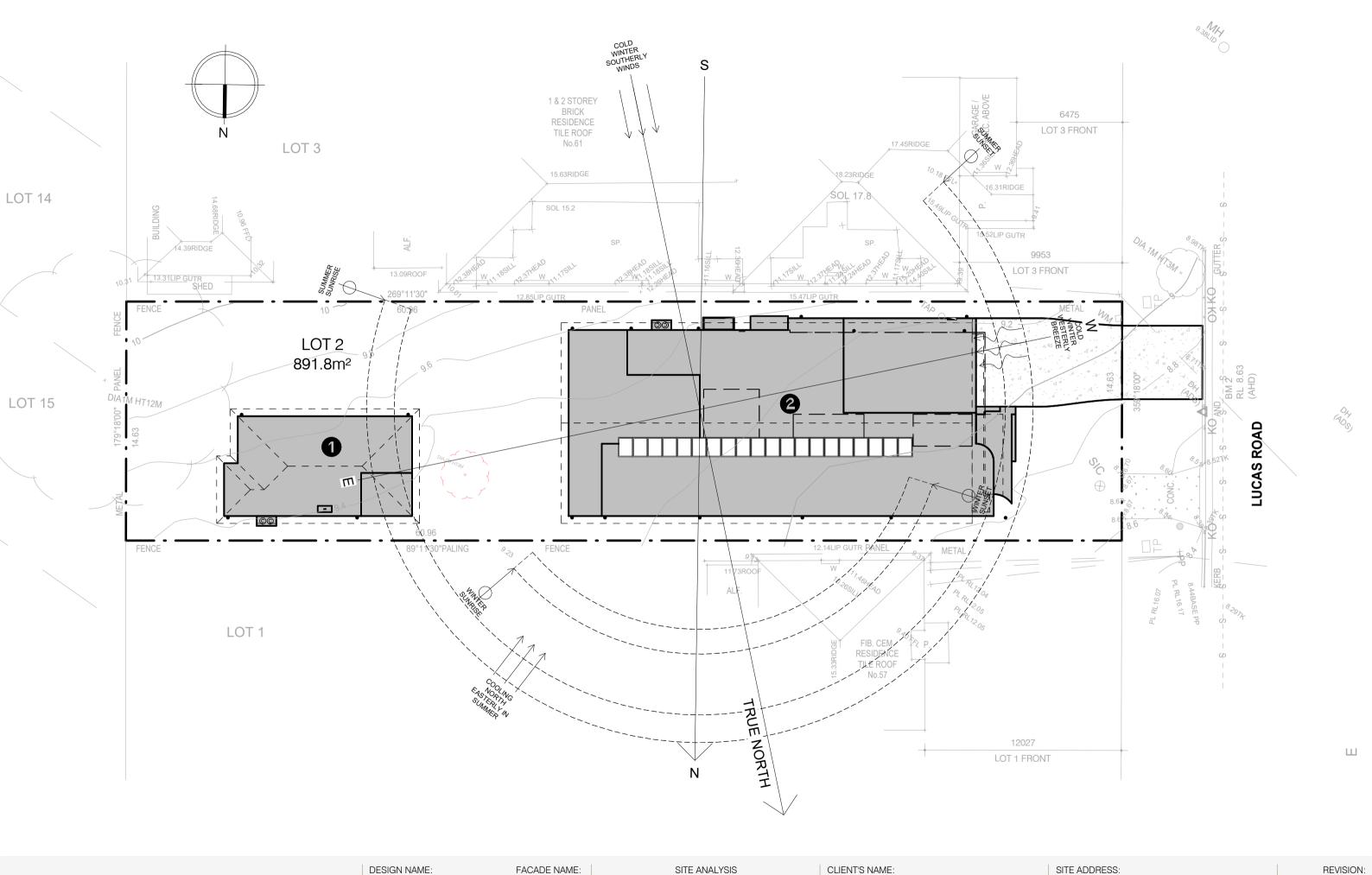
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REVISION:

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DESIGN NAME:
HEMISPHERE
48-MASTER REAR
PACKAGE:
PRESTIGE

 FACADE NAME:
 SITE ANALYSIS

 ARC
 SCALE: 1:200 @ A3

 JOB NO:
 DATE:
 SHEET NO:

 24-1117
 30.05.25
 025

CLIENT'S NAME:

MR EMAD LOKA

MRS NARDINE LOKA

SIGNATURE: DATE:

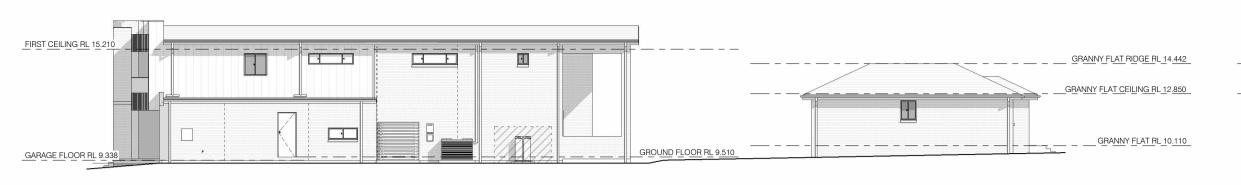
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SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

NSW, 2213

EAST HILLS

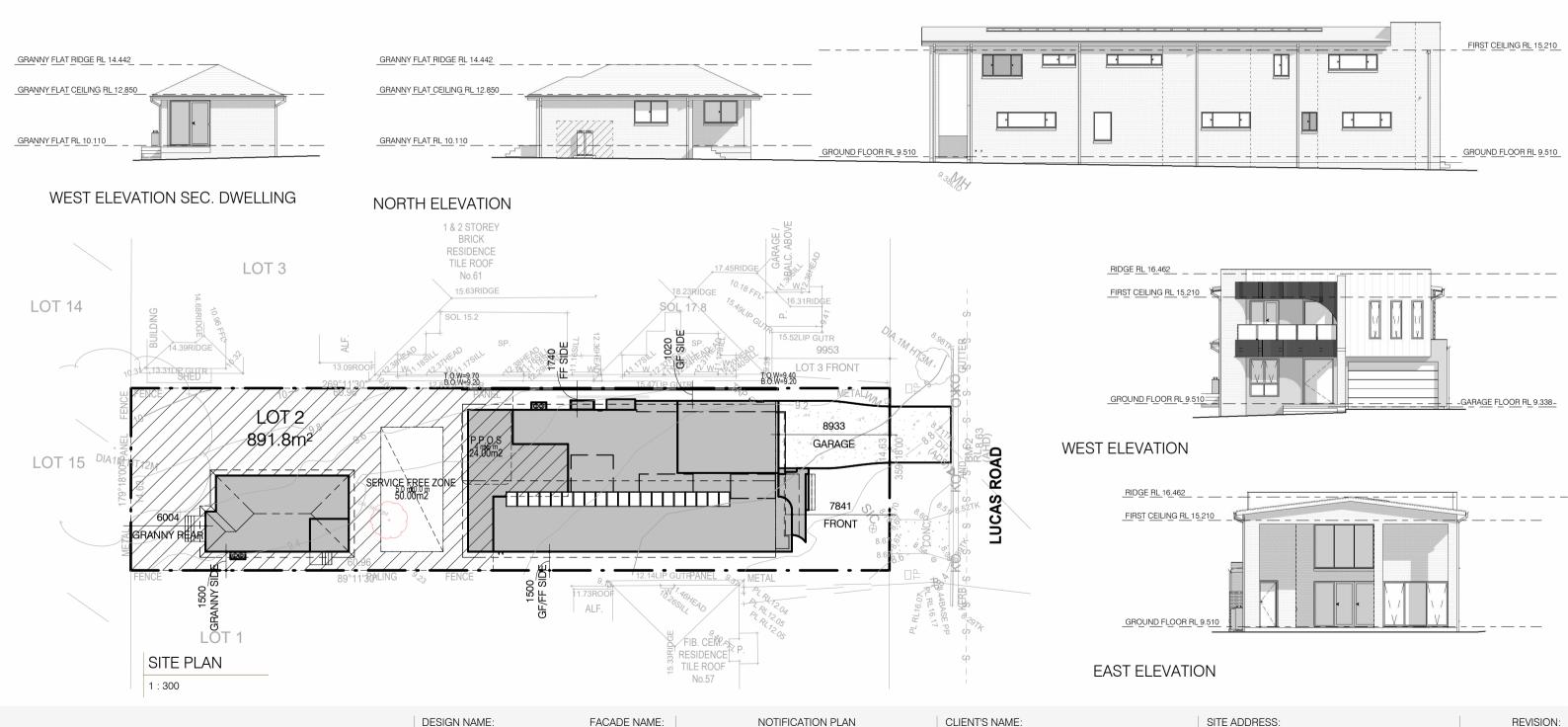
B-1





SOUTH ELEVATION

EAST ELEVATION SEC. DWELLING





FOWLER YOUR HOME. OUR PASSION.

DESIGN NAME:
HEMISPHERE
48-MASTER REAR
PACKAGE:
PRESTIGE

FACADE NAME:
ARC
JOB NO:
24-1117

 ME:
 NOTIFICATION PLAN

 RC
 SCALE: As indicated @ A3

 NO:
 DATE:
 SHEET NO:

 17
 30.05.25
 026

CLIENT'S NAME:
MR EMAD LOKA
MRS NARDINE LOKA

ssion of Fowler Homes Pty Ltd. Builders License 113647C.

MRS NARDINE LOKA

SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES

SITE ADDRESS:
LOT: 2 DP: 23623
(No. 59) LUCAS ROAD

NSW, 2213

EAST HILLS

B-1